



# CONSERVATION SCHEDULE OF WORKS

Former C.B.C. Bank  
263 Queen Street Campbelltown  
MARCH 2017

**NBR&PARTNERS PTY LTD**

Level 3, 4 Glen Street,  
Milsons Point NSW 2061 Australia  
nbsarchitecture.com

**ABN 16 002 247 565**

Sydney: +61 2 9922 2344  
Melbourne: +61 3 8676 0427  
architects@nbsarchitecture.com

**DIRECTORS**

Geoffrey Deane NSW reg. 3766, Rodney Drayton NSW reg. 8632,  
Andrew Duffin NSW reg. 5602, Garry Hoddinett NSW reg. 5286,  
Andrew Leuchars LA reg. 035, James Ward

**ASSOCIATE DIRECTORS**

Trevor Eveleigh, Brett Sherson, Robert Staas, Andrew Tripet, Jonathan West  
**SENIOR ASSOCIATES** John Baker, Barry Flack **ASSOCIATES** Derek Mah,  
Hung-Ying Foong Gill, Sophie Orrock, Samantha Polkinghorne,

NBRS & PARTNERS Pty Ltd  
Level 3, 4 Glen Street  
Milsons Point  
NSW 2061 Australia

Telephone +61 2 9922 2344 - Facsimile +61 2 9922 1308

ABN: 16 002 247 565

Nominated Architects

Geoffrey Deane: Reg No. 3766; Andrew Duffin: Reg No. 5602; Garry Hoddinett: Reg No 5286

This report has been prepared under the guidance of the Expert Witness Code of Conduct in the Uniform Civil Procedure Rules and the provisions relating to expert evidence

This document remains the property of NBRS & PARTNERS Pty Ltd.  
The document may only be used for the purposes for which it was produced.  
Unauthorised use of the document in any form whatsoever is prohibited.

<b>ISSUED</b>	<b>REVIEW</b>	<b>ISSUED BY</b>
7 Mar 2017	Draft	Brad Vale
15 Mar 2017	Architect Review	Brad Vale
21 Mar 2017	Final	Brad Vale

## CONTENTS

LIST OF FIGURES .....	5
PART A: INTERIOR.....	9
<b>A1.1 GROUND FLOOR ROOMS .....</b>	<b>9</b>
Room G.01, Entrance Porch.....	9
Room G.02, Original Banking Chamber.....	11
Room G.03, Bank Manager’s Office.....	14
Room G.04, Side Entrance, Hall & Stairs.....	19
Room G.05, Former Dining Room.....	22
Room G.06, Bank Vault .....	24
Room G.07, Breezeway & The Wall of the Original Building .....	24
Room G.08, Toilets/Original Services Building.....	26
Room G.09, Toilets/Original Services Building.....	27
Room G.20, To Be Demolished.....	27
<b>A1.2 FIRST FLOOR ROOMS.....</b>	<b>28</b>
Room 1.01 Hall & Staircase.....	28
Room 1.02 Former Drawing Room.....	31
Room 1.03 .....	34
Room 1.04 – Former Bedroom.....	37
Room 1.05 .....	40
Room 1.06 .....	43
Room 1.07 Hall .....	46
Room 1.07A Lobby & Cupboard .....	47
Room 1.08 External Verandah.....	49
Room 1.09 Modern Toilets.....	51
Room 1.10 Modern Toilets.....	51
Room 1.11 Modern Toilets.....	52
<b>PART B EXTERIOR .....</b>	<b>55</b>
B 1.0 Roofs and Chimney Stacks.....	56
B2.0 Chimney Stacks.....	58
B2.0 Elevations .....	59
B2.2 North East Elevation.....	65
B2.3 North West Elevation.....	67
B2.4 South West Elevation .....	70
<b>PART 3 SPECIFICATION.....</b>	<b>75</b>
<b>C1.0 INTERNAL WORKS.....</b>	<b>75</b>
C1.1 Internal Render Repair .....	75
C1.2 Fracture Repairs to Internal Walls .....	76
C1.3 Internal Plaster Redecoration .....	76
<b>C2.0 EXTERNAL WORKS.....</b>	<b>77</b>
C2.1 Roof Repairs.....	77
C2.2 Render Repairs .....	77

C2.3 Painting – All Surfaces .....	78
C2.4 Window and Door Repairs.....	79
C2.5 Iron Railings .....	79
C2.6 Bird Guano Removal.....	80

## LIST OF FIGURES

<i>Figure 1 – Ground Floor Plan (Based on drawing in Tropman and Tropman Heritage Impact Study)</i>	6
<i>Figure 2 – First Floor Plan (Based on drawing in Tropman and Tropman Heritage Impact Study)</i>	7
<i>Figure 3 – Roof Plan (Based on drawing in Tropman and Tropman Heritage Impact Study)</i>	8
<i>Figure 4 – Heritage Significance Diagram Elevations</i>	55
<i>Figure 5 – View of the roof between the Services Building and the Main Building</i>	57
<i>Figure 6 – Chimney Stack 1, North East Elevation, Main Building</i>	58
<i>Figure 7 – Queen Street Elevation</i>	59
<i>Figure 8 – Porch</i>	61
<i>Figure 9 – Roof of the Queen Street porch</i>	62
<i>Figure 10 – Queen Street railings</i>	63
<i>Figure 11 – Position of gate to the Queen Street railings</i>	64
<i>Figure 12 – Single storey building to be demolished</i>	65
<i>Figure 13 – First floor façade to be retained</i>	65
<i>Figure 14 – Ground floor building to be demolished</i>	67
<i>Figure 15 – First floor Main Building with verandah</i>	67
<i>Figure 16 – The Services Building – first floor</i>	68
<i>Figure 17 – South West elevation, first floor - Main Building</i>	70
<i>Figure 18 – South West elevation, ground floor - Main Building</i>	70
<i>Figure 19 – South West elevation, ground floor - Main Building</i>	71
<i>Figure 20 &amp; Figure 21 – South West elevation – lintels to be replaced and surfaces rerendered</i>	73
<i>Figure 22 – South West elevation – Services Building, ground floor</i>	73

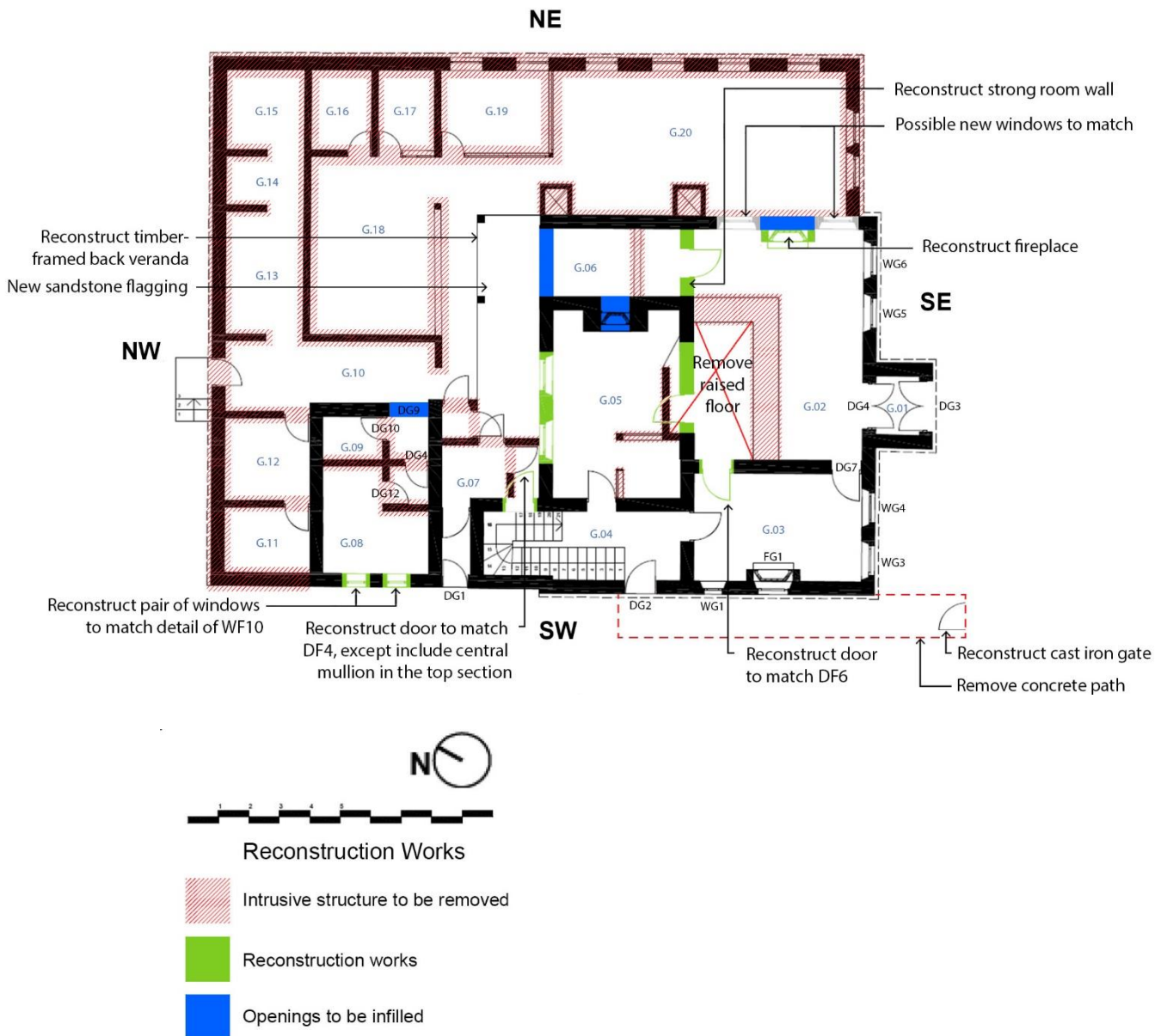
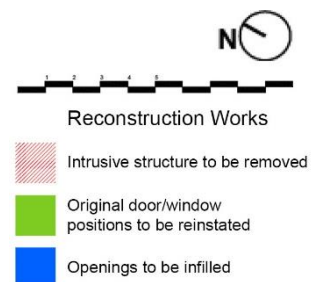


Figure 1 – Ground Floor Plan (Based on drawing in Tropman and Tropman Heritage Impact Study)

This Schedule of Conservation Works was prepared by Nicola Ashurst of Adriel Consultancy PTY LTD for NBR**S**Architecture, with graphical input by Annabel Blackman of NBR**S**Architecture.



Figure 2 – First Floor Plan (Based on drawing in Tropman and Tropman Heritage Impact Study)



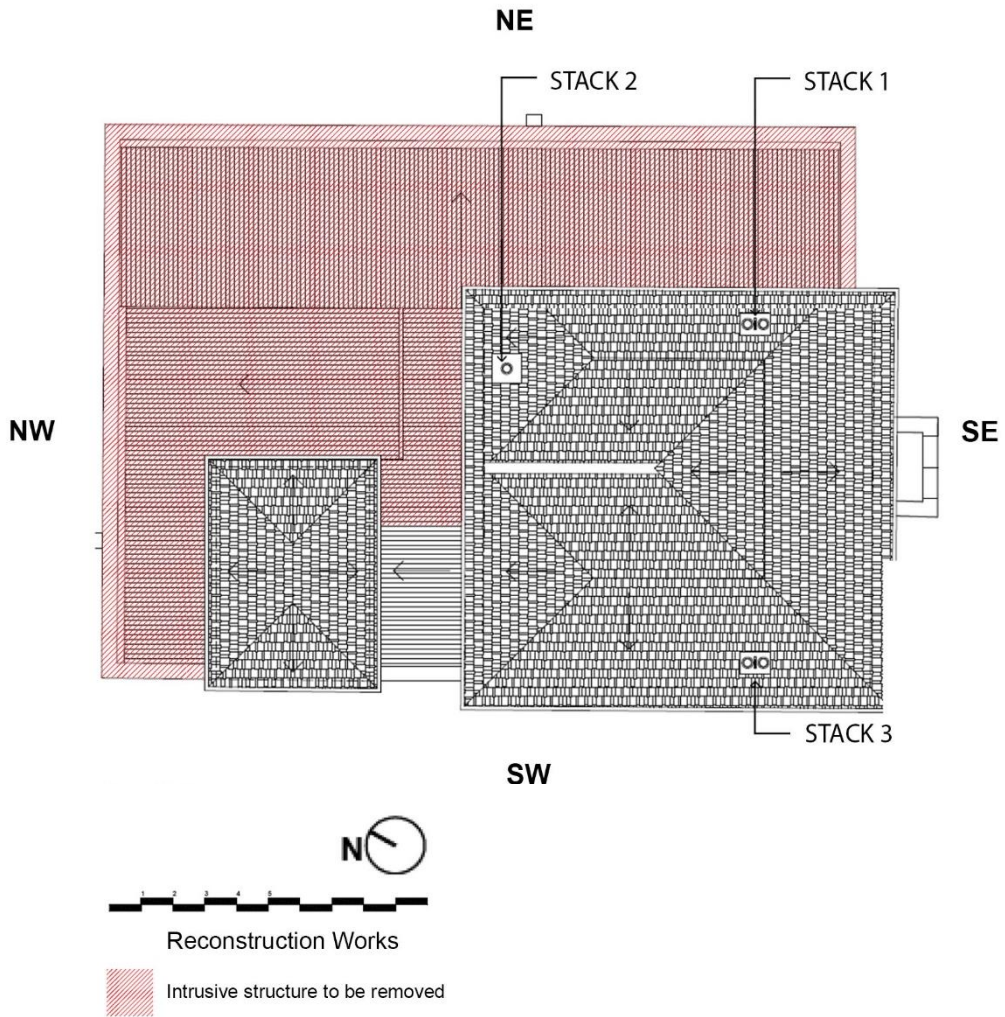


Figure 3 – Roof Plan (Based on drawing in Tropman and Tropman Heritage Impact Study)



## PART A: INTERIOR

### A1.1 GROUND FLOOR ROOMS

#### ROOM G.01, ENTRANCE PORCH

##### Ceiling:

Zinc panels:

- Check for sound fixing. Resecure where necessary. Redecorate.

##### Walls (all):

- Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.
- Repair fractures.
- Remove all impervious paint layers back to a sound surface.
- Redecorate to colour scheme agreed with the Heritage Architect.

#### SOUTH EAST

<b>DOOR DG 3: INTERNAL SURFACE</b>
<b>Glazed fanlight, sheet metal cladding to internal surfaces of doors</b>
Retain door and architraves.
Adjust door and make fully functional.
<b>Sheet Metal Lining:</b>
Retain and redecorate.
<b>Hardware:</b>
Remove Yale lock and make good sheet metal and timber to door.
Retain all other hardware including drop bolt.
Render all retained hardware fully functional.
<b>Repairs:</b>
Take down doors and move to workshop.
Repair broken joints to timber at the bottom of the door.
Architrave (Internal):
Indent bottom 200mm in timber TME.
Architrave (external):
Indent bottom 200mm in timber TME.
<b>Decoration: Door &amp; Architrave</b>
Hand prepare and sand all surfaces.
Redecorate in tinted shellac in agreed colour and sheen.

#### NORTH WEST

<b>DOOR DG 4: DOUBLE SWUNG, Glazed Fanlight</b>
<b>SURFACE TO LOBBY</b>
Retain door and architraves.
Adjust door and make fully functional.
Repair damages from previous Yale lock and light switch with inserts in matching timber.
<b>Repairs:</b>
Take down doors and move to workshop.
Repair broken joints to timber at the bottom of the door.

**Hardware:**

Push plates:

Replace in brass to match kick plates.

Brass kick plates:

Secure. Polish.

Repair or replace floor mounted opening mechanisms.

**Decoration: Door & Architrave**

Remove dark green paint and prepare for shellac finish.  
Hand prepare and sand all surfaces.  
Redecorate in tinted shellac in agreed colour and sheen.

**Tessellated Tile Floor:**

- Clean all tile surfaces using steam and detergent.
- Hammer test all tiles to identify loose tiles. Lift individually and refix.
- Cut back surface to edge of threshold. Replace missing bad of tiles TME, 250mm deep.
- Replace all excessively heavily worn tiles TME following agreement with the Conservation Architect.
- RegROUT. Apply microcrystalline wax and buff.

**ROOM G.02, ORIGINAL BANKING CHAMBER**

**Ceiling:**

- Modify cornice in accordance with Conservation Policy.
- Redecorate to colour scheme approved by the Heritage Architect.
- Replace light with HA approval
- Retain ceiling rose, though it is not original.

**Redundant Structures:**

- Remove counter and raised floor behind. Remove partition wall to rear.
- Make good damages to retained original walls and floors.
- Inspect flooring at original level. Repair and finish as required.
- Remove partition wall to NE wall. Make good damages to retained original walls and floors.

**Walls (all):**

- Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.
- Plaster walls:
- Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.
- Repair fractures.
- Redecorate to colour scheme approved by the Heritage Architect.

**Skirting:**

- Retain existing.
- Remove all power points, phone outlets, cabling and conduits.
- Hand prepare and sand all surfaces.
- Redecorate in tinted shellac in agreed colour and sheen.
- Used removed sections to undertake repairs following removal of redundant structures.

**SOUTH EAS**

<b>DOOR DG 4: DOUBLE SWUNG, Glazed Fanlight SURFACE TO G.02</b>
Retain door and architraves.
Adjust door and make fully functional.
Repair damages from previous Yale lock and light switch with inserts in matching timber.
<b>Repairs:</b>
Take down doors and move to workshop.
Repair broken joints to timber at the bottom of the door.

<p><b>Hardware:</b> Push plates: Replace in brass to match kick plates. Brass kick plates: Secure. Polish. Repair or replace floor mounted opening mechanisms.</p>
<p><b>Decoration: Door &amp; Architrave</b> Remove dark green paint and prepare for shellac finish. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.</p>

<p><b>WINDOW WG 5:</b> Original timber sash window. Retain. Repair and conserve.</p>
<p><b>EXTERNAL SURFACES:</b> Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Survey in detail and undertake necessary repairs.</p>
<p><b>GLAZING:</b> Make good putty glazing.</p>
<p><b>INTERNAL SURFACES:</b> Remove security grille and make good holes. Remove modern blind and associated fixings. Make good holes.</p>
<p><b>Hardware:</b> <b>Sash lock:</b> Clean and repair existing. Polish. <b>Sash lifts:</b> -</p>
<p><b>Operation Overhaul:</b> Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.</p>
<p><b>Redecoration:</b> Paint strip dark green paint. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.</p>

<p><b>WINDOW WG 6:</b> Original timber sash window. Retain. Repair and conserve.</p>
<p><b>EXTERNAL SURFACES:</b> Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Survey in detail and undertake necessary repairs.</p>
<p><b>GLAZING:</b> Make good putty glazing.</p>

<p><b>INTERNAL SURFACES:</b> Remove security grille and make good holes. Remove modern blind and associated fixings. Make good holes.</p>
<p><b>Hardware:</b> <b>Sash lock:</b> Clean and repair existing. Polish. <b>Sash lifts:</b> -</p>
<p><b>Operation Overhaul:</b> Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.</p>
<p><b>Redecoration:</b> Paint strip dark green paint. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.</p>

**NORTH EAST**

- Remove 2 vent grilles and infill holes in masonry.

**Large Opening:**

- To be infilled to match line of internal wall and external wall.
- Replace area of flooring in narrow boards in wide timber boards to match the rest of the room.

**NORTH WEST**

**Large Opening (over Modern Counter area):**

- To be reduced in size or infilled to match line of both sides of original wall.

**SOUTH WEST**

**Reinstate previous door and opening:**

- Door to match DG 7.
- Install lintel and form opening as required.
- Extend existing floor boards.

<p><b>DOOR DG 7:</b> <b>Door original, architrave is replaced.</b></p>
<p>Retain door and architraves.</p>
<p>Adjust door and make fully functional.</p>
<p>Repair damages from previous Yale lock and light switch with inserts in matching timber.</p>
<p><b>Hardware:</b> Handle: Brass and ceramic: Replace to match original. Escutcheon: Brass. Replace to match original.</p>
<p><b>Decoration: Door &amp; Architrave</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.</p>

**Floors:**

- Review condition and appearance of timber flooring. Undertake necessary repairs to match existing flooring including replacement of sections of boarding and infilling of holes in matching timber.
- Sand and redecorate all areas that will not be covered by carpet.

**ROOM G.03, BANK MANAGER'S OFFICE**

**Ceiling:**

Remove existing lighting and ventilation grille.

Open- up discrete area to investigate construction.

Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

**Walls (all):**

Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.

Plaster walls:

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.

Repair fractures.

Redecorate to colour scheme approved by the Heritage Architect.

**Skirting:**

Remove all power points, phone outlets, cabling and conduits.

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

**SOUTH EAST**

<b>WINDOW WG 3:</b>
Original timber sash window. Retain. Repair and conserve.
<b>EXTERNAL SURFACES:</b> Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Survey in detail and undertake necessary repairs.
<b>GLAZING:</b> Make good putty glazing.
<b>INTERNAL SURFACES:</b> Remove security grille and make good holes. Remove modern blind and associated fixings. Make good holes.
<b>Hardware:</b> <b>Sash lock:</b> Clean and repair existing. Polish. <b>Sash lifts:</b> -
<b>Operation Overhaul:</b> Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
<b>Redecoration:</b> Paint strip dark green paint. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

<b>WINDOW WG 4:</b>
Original timber sash window. Retain. Repair and conserve.
<b>EXTERNAL SURFACES:</b> Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Survey in detail and undertake necessary repairs.
<b>GLAZING:</b> Make good putty glazing.
<b>INTERNAL SURFACES:</b> Remove security grille and make good holes. Remove air-conditioner and make good. Remove modern blind and associated fixings. Make good holes.
<b>Hardware:</b> <b>Sash lock:</b> Clean and repair existing. Polish. <b>Sash lifts:</b>

-
<b>Operation Overhaul:</b> Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.



**Redecoration:**

Paint strip dark green paint. Hand prepare and sand all surfaces.  
Redecorate in tinted shellac in agreed colour and sheen.

**NORTH EAST**

<b>DOOR DG 7:</b>
Retain door and architraves.
Adjust door and make fully functional.
Repair damages from previous Yale lock and light switch with inserts in matching timber.
<b>Hardware:</b> Handle: Brass and ceramic: Replace to match original. Escutcheon: Ceramic: Replace to match original.
<b>Decoration: Door &amp; Architrave</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

**Reinstate Previous Door and Opening:**

- Door to match DG 7.
- Install lintel and form opening as required.
- Extend existing floor boards.

**NORTH WEST**

<b>DOOR DG 6:</b>
Retain door and architraves.
Adjust door and make fully functional.
Repair damages from previous Yale lock and light switch with inserts in matching timber. Glue and clamp large split to door.
<b>Hardware:</b> Handle: Brass and ceramic: Replace to match original. Escutcheon: ORIGINAL. Paint strip, clean and wax.
<b>Decoration: Door &amp; Architrave</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

**SOUTH WEST**

<b>WINDOW WG 1:</b>
Small timber sash window. Retain original window.

**EXTERNAL SURFACES:**

Survey in detail for necessary repairs. Undertake traditional timber repairs.  
Prepare all timber surfaces and redecorate to colour scheme approved by the  
Heritage Architect.

**GLAZING:**

Make good putty glazing.

<p><b>INTERNAL SURFACES:</b> Remove modern blind and associated fixings. Make good holes. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.</p>
<p><b>Hardware:</b> <b>Sash lock:</b> Original brass and ceramic. Clean, repair, wax. <b>Sash lifts:</b> Original brass. Paint strip, clean and wax.</p>
<p><b>Operation Overhaul:</b> Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.</p>
<p><b>Repairs:</b> Remove security lock. Repair damages with inserts in matching timber.</p>
<p><b>Redecoration:</b> Paint strip dark green paint. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.</p>

<p><b>FIREPLACE FG1:</b></p>
<p>Retain existing ironwork and tiling.</p>
<p>Redecorate ironwork. Replace existing mantelpiece in marble. Details to be agreed with the Conservation Architect.</p>
<p>Hearth: Inspect for evidence of original hearth. Replace in tessellated tiles, details to be agreed with the Conservation Architect.</p>

**Floors:**

- Take up carpet, underlay and all fixings. Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.
- Sand and redecorate all areas that will not be covered by carpet.

**ROOM G.04, SIDE ENTRANCE, HALL & STAIRS**

**Ceiling:**

Remove existing lighting and ventilation grille.  
Open- up discrete area to investigate construction.  
Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

**SOFFIT TO LANDING & STAIRS:**

Replace/repair plaster beneath landing to stairs.

**Walls (all):**

Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.

**Plaster walls:**

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.

Repair fractures.

Redecorate to colour scheme approved by the Heritage Architect.

**Skirting:**

Remove all power points, phone outlets, cabling and conduits.

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

**SOUTH EAST**

<b>DOOR DG 6:</b>
Retain door and fielded architraves.
Adjust door and make fully functional.
Remove modern handle and lock. Repair damages with inserts in matching timber.
<b>Hardware:</b>
Handle:
Brass and ceramic: Replace to match original.
Escutcheon:
Brass: Strip paint, polish and wax.
<b>Decoration: Door &amp; Architrave</b>
Hand prepare and sand all surfaces.
Redecorate in tinted shellac in agreed colour and sheen.

**NORTH EAST**

<b>DOOR DG 5:</b>
Retain door and fielded architraves.
Adjust door and make fully functional.
Remove modern handle and lock. Repair damages with inserts in matching timber.
<b>Hardware:</b>
Handle:
Ceramic & brass: Replace to match original.
Escutcheon:
Brass: Replace to match original.
<b>Decoration: Door &amp; Architrave.</b>
Hand prepare and sand all surfaces.
Redecorate in tinted shellac in agreed colour and sheen.

**NORTH WEST**

Repair cracks to wall under stairs.

<b>DOOR DG TO BE REINSTATED:</b>
Form original door opening to rear veranda.
Rebuild segmented brick arch above.
Install timber architrave and door, exterior quality, similar to DG6.

**SOUTH WEST**

Repair crack to wall beneath edge of landing.

<b>DOOR DG 2:</b>
Retain door, architraves and fanlight.
Adjust door and make fully functional.
<b>INTERNAL SURFACES:</b>
Remove door closer, modern locks and handle. Repair damages from previous locks, door closer and signage with inserts in matching timber. Replace lock box in brass to match the original. Retain and refurbish door chain

<p><b>Hardware:</b> Handle: Brass and ceramic: Replace to match original.</p>
<p><b>Decoration: Door &amp; Architrave</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.</p>
<p><b>EXTERNAL SURFACES:</b></p>
<p>Remove locks and handles as per the interior. Remove weather strip and make good damages. Hand prepare and sand all surfaces. Redecorate in accordance with colour scheme agreed with the Conservation Architect.</p>

**Floors:**

- Take up carpet, underlay and all fixings.
- Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.
- Sand and redecorate all areas that will not be covered by carpet.

**Staircase:**

**Timber work (handrails and skirting)**

- Hand prepare and sand all surfaces.
- Redecorate in tinted shellac in agreed colour and sheen.
- Specialist decorator to undertake trials to confirm suitability of shellac over all existing coatings.

**Stairs and Landings:**

- Remove carpets and nosing.
- Hand prepare/sand outer 400mm wide strips of steps, risers and all associated mouldings.
- Redecorate in tinted shellac as per handrails.

**ROOM G.05, FORMER DINING ROOM**

**Ceiling:**

- Open- up discrete area to investigate construction, to determine the plaster work support structure and the feasibility of removing the surface mounted battens, to create a plain ceiling surface.
- Remove surface mounted battens and make good plaster damage. Refix ceiling rose.
- Redecorate ceiling and cornice to colour scheme agree with the Conservation Architect.

**Walls:**

**Intrusive Structures**

- Carefully dismantle glazed office partitioning to South corner. Make good damage to plaster wall, skirting and flooring.
- Carefully dismantle full height wall to South East side corner. Make good damage to plaster wall, skirting and flooring.

**All**

- Remove dado rail and make good surfaces.
- Remove all signage, redundant fixings, lights, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.
- Plaster walls:
- Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.
- Repair fractures.

- Redecorate to colour scheme approved by the Heritage Architect.

**Skirting:**

- Remove all power points, phone outlets, cabling and conduits.
- Hand prepare and sand all surfaces.
- Redecorate in tinted shellac in agreed colour and sheen.

**North-West**

**Infill of opening to end of vault:**

Remove boarding and framing to walls and soffit to expose masonry beneath. Review with Conservation Architect. And finalise positions of internal and external infill wall surfaces. To be infilled in solid masonry.

**Reinstate external door to opening match rear verandah doors of other Mansfield ban branches:**

- Install lintel and form opening as required.
- Install Mintaro slate threshold.
- Install external grade panelled door similar to DG7.
- Install brass hinges and lock box and handles.

**NORTH EAST**

- Repair fractures above lintel to door DG7.
- Install Victorian style marble mantelpiece in reconstructed fire place.

**NORTH WEST**

- Remove 2 vent grilles. Infill wall to match original surface both sides.
- Redecorate original vent grilles.

**SOUTH WEST**

- Remove 1 vent grille. Infill wall to match original surface both sides.
- Redecorate original vent grilles.
- Repair fracture wall above door DG%.

<b>DOOR DG 5:</b>
Retain door and architraves.
Adjust door and make fully functional.
Repair damages from previous Yale lock and light switch with inserts in matching timber.
<b>Hardware:</b> Handle: Brass and ceramic: Replace to match original. Escutcheon: Ceramic: Replace to match original.
<b>Decoration: Door &amp; Architrave</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

**Floors:**

- Take up carpet, underlay and all fixings.

- Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.
- Sand and redecorate all areas that will not be covered by carpet.
- Install slate threshold in position of original fireplace.

#### **ROOM G.06, BANK VAULT**

##### **Arch:**

- Remove plaster and other levelling materials to expose original brickwork masonry. Review with Conservation Architect and agreed necessary repair and reinstatement works.

##### **Walls:**

- Remove plaster and other levelling materials to expose original masonry. Review with Conservation Architect and agreed necessary repair and reinstatement works.

##### **Redundant structures:**

Remove partition wall and make good damages.

#### **SOUTH EAST**

Preferred to be infilled with a heavy steel strong room door, but may remain open if needed as such in the adaptive reuse.

#### **NORTH EAST**

-

#### **NORTH WEST**

In wall above opening, remove vent grille and in fill masonry to match existing both sides.

LARGE OPENING (end of vault):

To be infilled to match line, material and texture of internal wall and external wall.

##### **Skirting:**

- Remove all power points, phone outlets, cabling and conduits.
- Hand prepare and sand all surfaces.
- Redecorate in tinted shellac in agreed colour and sheen.
- Make good missing lengths with skirting salvaged from nearby rooms.

#### **SOUTH WEST**

Opening (previous fireplace):

To be infilled to match original.

##### **Floors:**

Remove levelling screed to floor.

Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.

Sand and redecorate all areas that will not be covered by carpet.

#### **ROOM G.07, FORMER STORE ROOM & THE WALL OF THE ORIGINAL BUILDING**

##### **Ceiling:**

- Remove suspended ceilings and associated lighting, grilles, ducts, and cabling.
- Make good damage to original walls.

##### **Walls:**



**All:**

- Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.
- Plaster walls:
- Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.
- Repair fractures.
- Scrape off all loose or flaking paint.
- Redecorate to colour scheme approved by the Heritage Architect.

**Intrusive Structures: Toilet & Cupboards**

- Carefully dismantle toilet walls, toilet, basin, floor, and wall tiling to South corner. Make good damage to plaster wall, skirting and flooring.
- Remove all redundant meters, meter boards, conduits, plumbing,

**Skirting:**

- Remove existing and make good holes.

**SOUTH EAST**

- Care is to be taken in the removal of any parts of this room which abut the original wall to the main building.
- All battening and associated linings are to be removed by hand to uncover the original walling beneath with minimum damage.
- All joists and other structural members are to be hand excavated from the original wall.
- The large opening at the Eastern end is to be infilled to match the original masonry and then rendered both sides to match the original finishes respectively (internal – plain, external – coursed to match the original pattern).
- Holes deeper than 1000mm are to be built out in masonry and then rendered.
- Once exposed the wall is to be inspected in detail to determine details of necessary repair works.
- Re render in a 3-coat external lime render, top coat coursed to match original external walling elsewhere.

**NORTH EAST**

Reconstruct timber-framed verandah following example of other Mansfield banks. Use heavy timber columns (min 125x125 hardwood) at ground floor with a lattice framed valance. Use cast iron filigree columns at first floor.

**NORTH WEST**

**DOOR:** Build undecorated Victorian style framed and ledged timber door from hardwood:

**REINSTATE PREVIOUS DOOR TO OPENING:**

External quality timber door to be like DG 7.  
Install lintel and form opening as required.  
Install slate threshold.

**SOUTH WEST**

**DOOR DG 8:**

Reinstate to an opening.  
Remove existing architrave. Reform masonry to original opening width.  
Rebuild segmented brick arch above.

**Original Breezeway: Walls**

- Remove all electrical boxes, conduits, etc. and associated fixings.
- Make good holes.
- Repair fracture to SE wall.

<b>DOOR DG 1:</b>
<b>REINSTATE PREVIOUS DOOR TO OPENING:</b> External quality timber door to be like DG 7. Install lintel and form opening as required. Install slate threshold.

**Floors:**

- Flooring to be replaced as part of new construction.

**Floor to Original Breezeway:**

- To be replaced in external grade timber.

**ROOM G.08, TOILETS/ORIGINAL SERVICES BUILDING**

Door DG11 – Not original

Door DG12 – Not Original

**Ceiling:**

- Remove suspended ceiling, fixings, supports, lighting, vents and ducts.

**WALLS:**

**Intrusive Walls & Door to Air Lock:**

- Remove.

**All:**

- Remove all tiling, basins, cubicles, plumbing, conduits etc. related to the modern toilet fit out.

**SOUTH EAST**

<b>DOOR DG:</b> Construct undecorated Victorian style framed and ledged door from hardwood, to be located in the northern end of this wall, facing the reconstructed verandah.
<b>REINSTATE PREVIOUS DOOR AND OPENING:</b> External quality timber door to be like DG 7. Install lintel and form opening as required. Install slate threshold.

**NORTH EAST**

<b>Window New:</b> to match detail of window above in room 1.10
<b>REINSTATE PREVIOUS DOOR TO OPENING:</b> External quality timber door to be like DG 7. Install lintel and form opening as required. Install slate threshold.

**NORTH WEST**

-

**SOUTH WEST**

- Reinststate 2 windows.
- Form openings, install lintels and sills, install timber windows to match WF11.

**Floors:**

- Lift all tiling, plumbing to exposure structure beneath.

**ROOM G.09, TOILETS/ORIGINAL SERVICES BUILDING****CEILING:**

Remove suspended ceiling, fixings, supports, lighting, vents, and ducts.

**Floors:**

Lift all tiling, plumbing to exposure structure beneath.

**Walls:****SOUTH EAST, NORTH EAST & NORTH WEST:**

Remove all timer frame walls to SE, NE, and SW sides.

Rebuild in solid masonry to the line of the walls above.

- External surfaces to be in lime- based render with course lines as per the original walling.
- Internal surfaces to be in lime- based render, plain surface finish.

**ROOM G.20, TO BE DEMOLISHED**

Care is to be taken in the removal of any parts of this room which abut the original wall to the main building.

**SOUTH WEST WALL:**

All battening and associated linings are to be removed by hand to uncover the original walling beneath with minimum damage.

All joists and other structural members are to be hand excavated form the original wall.

The large opening at the Eastern end is to be infilled to match the original masonry and then rendered both sides to match the original finishes respectively (internal – plain, external – coursed to match the original pattern).

Holes deeper than 1000mm are to be built out in masonry and then rendered.

Once exposed the wall is to be inspected in detail to determine details of necessary repair works.

Re render in a 3-coat external lime render, top coat coursed to match original external walling elsewhere.

## A1.2 FIRST FLOOR ROOMS

### ROOM 1.01 HALL & STAIRCASE

#### CEILING:

Above the top landing and stairs:

Open up discrete area to investigate construction.

Replace in plain plaster with cornice all around.

Above landing:

Open up discrete area to investigate construction.

Replace in plain plaster with cornice all around.

Low ceiling outside toilet entrances:

Open up discrete area to investigate construction.

Replace in plain plaster with cornice all around.

#### WALLS:

##### ALL:

Retain all high-level picture rails with a decorated profile. Other picture rails are less significant.

Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits.

Make good damages.

Redecorate to colour scheme approved by the Heritage Architect.

##### SKIRTING:

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

Specialist decorator to undertake trials to confirm suitability of shellac over all existing coatings.

##### SOUTH WEST:

Make good to wall surrounding fire hose reel following any advice to change the system from the fire services engineer. Assuming the fire hose reel remains, build timber doors to match cabinet, and label for BCA code requirements-

Wall above landing: Remove area of skim waterproof render. Prepare surface to receive new render top coat.

<b>DOOR DF10 (Men's):</b>
Retain door and architraves.
Adjust door and make fully functional.
Remove signage.
<b>Hardware:</b>
Handle: Clean and conserve original.
Escutcheon: Replace to match original.
<b>Decoration:</b>
Hand prepare and sand all surfaces.
Redecorate in tinted shellac in agreed colour and sheen.

<b>WINDOW WF2:</b>
Timber sash window with external decorative timber. Retain original window.
<b>EXTERNAL SURFACES:</b> Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. De-corrode 3 security bars and redecorate.
<b>GLAZING:</b> Reglaze bottom sash. Remove silicone pointing. Putty glaze. Make good putty to top sash.
<b>INTERNAL SURFACES:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.
<b>Hardware:</b> <b>Sash lock:</b> Clean and conserve original brass and ceramic. <b>Sash lifts:</b> Clean and conserve original brass.
<b>Operation Overhaul:</b> Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
<b>Repairs:</b> Remove security lock. Repair damages with inserts in matching timber.
<b>Redecoration:</b>

**SOUTH EAST:**

Repair 2 fractures above end of lintel to doorway.

<b>DOOR DF1:</b>
Retain door and architraves.
Resecure hinges. Adjust door and make fully functional.
Remove security lock. Repair damages with inserts in matching timber.
<b>Hardware:</b> Handle: Brass and ceramic: Replace to match original. Escutcheon: Brass: Replace to match original.
<b>Decoration:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

**NORTH EAST:**

**Arched opening to 1.07 (Hall):**

Repair fractures above right side of arch, both sides of wall.

Repair fracture to wall around window WF11.

<b>WINDOW WF11:</b>
Small timber sash window. Retain original window.
<b>EXTERNAL SURFACES:</b> Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
<b>GLAZING:</b> Reglaze both sashes with putty glazing.
<b>INTERNAL SURFACES:</b> Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

<b>Hardware:</b>
<b>Sash lock:</b> Clean and refurbish original.
<b>Sash lifts:</b> Clean and wax original brass.
<b>Operation Overhaul:</b> Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
<b>Repairs:</b> Remove security lock. Repair damages with inserts in matching timber.
<b>Redecoration:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

**NORTH WEST:**

Remove modern light and signage. Repair plaster.

Arched opening:

Repair fracture above arched opening, both sides of the wall.

<b>DOOR DF11 (Ladies):</b>
Retain door and architraves.
Adjust door and make fully functional.
Remove signage.
<b>Hardware:</b> Handle: Brass and ceramic   clean and conserve. Escutcheon: -
<b>Decoration:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

**FLOORS:**

Take up carpet, underlay and all fixings.  
Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.  
Sand and redecorate all areas which are not to be carpeted.

**STAIRCASE:**

**Timber work (handrails and skirting):**

Hand prepare and sand all surfaces.  
Redecorate in tinted shellac in agreed colour and sheen.  
Specialist decorator to undertake trials to confirm suitability of shellac over all existing coatings.

**Stairs and Landings:**

Remove carpets and nosing.  
Hand prepare/sand outer 400mm wide strips of steps, risers and all associated mouldings.  
Redecorate in tinted shellac as per handrails.

**ROOM 1.02 FORMER DRAWING ROOM**

**CEILING:**

Remove existing lighting and ventilation grille.  
Open- up discrete area to investigate construction.  
Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

**WALLS:**

**ALL:**

Retain high level picture rail. Redecorate in tinted shellac in agreed colour and sheen  
Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.  
Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.  
Remove Timber chair rail:  
Plaster walls:  
Redecorate to colour scheme approved by the Heritage Architect

**SKIRTING:**

Remove all power points, phone outlets, cabling and conduits.  
Paint strip dark green paint. Hand prepare and sand all surfaces.  
Redecorate in tinted shellac in agreed colour and sheen.

**SOUTH WEST:**

<b>WINDOW WF 3:</b>
Small timber sash window. Retain original window.
<b>EXTERNAL SURFACES:</b>
Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
<b>GLAZING:</b>
Make good putty glazing.

<p><b>INTERNAL SURFACES:</b> Remove modern blind and associated fixings. Make good holes. Paint strip dark green paint. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.</p>
<p><b>Hardware:</b> <b>Sash lock:</b> Original brass and ceramic. Clean, repair, wax <b>Sash lifts:</b> Original brass. Paint strip, clean and wax.</p>
<p><b>Operation Overhaul:</b> Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.</p>
<p><b>Repairs:</b> Remove security lock. Repair damages with inserts in matching timber.</p>
<p><b>Redecoration:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.</p>

<p><b>FIREPLACE:</b></p>
<p>Retain existing ironwork and tiling.</p>
<p>Redecorate ironwork. Replace existing mantelpiece in marble. Details to be agreed with the Conservation Architect.</p>
<p>Hearth: Inspect for evidence of original hearth. Fix matching tiles to hearth, details to be agreed with the Conservation Architect.</p>

**SOUTH EAST:**

<p><b>WINDOW WF 4:</b> Original timber sash window. Retain. Repair and conserve.</p>
<p><b>EXTERNAL SURFACES:</b> Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Survey in detail and undertake necessary repairs.</p>
<p><b>GLAZING:</b> Make good putty glazing.</p>
<p><b>INTERNAL SURFACES:</b> Remove modern blind and associated fixings. Make good holes. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.</p>



<p><b>Hardware:</b>  <b>Sash lock:</b>          Replace to match original (brass and ceramic). See Window W2.  <b>Sash lifts:</b>          Original brass. Paint strip, clean and wax.</p>
<p><b>Operation Overhaul:</b>          Make sashes fully functional.          Remove sashes and replace timber parting beads.          Replace sash cords, adjust sash weights as required.</p>
<p><b>Repairs:</b>          Remove security lock. Repair damages with inserts in matching timber.</p>
<p><b>Redecoration:</b>          Paint strip dark green paint. Hand prepare and sand all surfaces.          Redecorate in tinted shellac in agreed colour and sheen.</p>

<p><b>WINDOW WF 5:</b>          Small timber sash window.          Retain original window.</p>
<p><b>EXTERNAL SURFACES:</b>          Survey in detail for necessary repairs. Undertake traditional timber repairs.          Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.</p>
<p><b>GLAZING:</b>          Make good putty glazing.</p>
<p><b>INTERNAL SURFACES:</b>          Remove modern blind and associated fixings. Make good holes.          Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.</p>
<p><b>Hardware:</b>  <b>Sash lock:</b>          Original brass and ceramic. Clean, repair, wax.  <b>Sash lifts:</b>          Original brass. Paint strip, clean and wax.</p>
<p><b>Operation Overhaul:</b>          Make sashes fully functional.          Remove sashes and replace timber parting beads.          Replace sash cords, adjust sash weights as required.</p>
<p><b>Repairs:</b>          Remove security lock. Repair damages with inserts in matching timber.</p>
<p><b>Redecoration:</b>          Paint strip dark green paint. Hand prepare and sand all surfaces.          Redecorate in tinted shellac in agreed colour and sheen.</p>

**NORTH EAST: Plain Wall**

See WALLS: ALL.

**NORTH WEST:**

<b>DOOR DF1:</b>
Retain door and architraves.
Resecure hinges. Adjust door and make fully functional.
Remove security lock, light switch, and coat hook. Repair damages with inserts in matching timber.
<b>Hardware:</b> Handle: Brass and ceramic: Remove, clean and refix. Escutcheon: Ceramic: Replace. Repair damaged timber around opening.
<b>Decoration:</b> Paint strip dark green paint. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

**FLOORS:**

Take up carpet, underlay and all fixings.

Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.

Sand all areas which are not too be carpeted.

**ROOM 1.03**

**CEILING:**

Remove existing lighting and ventilation grille.

Open- up discrete area to investigate construction.

Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

**WALLS:**

**ALL:**

Retain high level picture rail.

Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.

Plaster walls:

Redecorate to colour scheme approved by the Heritage Architect

**SKIRTING:**

Remove all power points, phone outlets, cabling and conduits.

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

**SOUTH EAST:**

<b>WINDOW WF 6:</b>
Retain original window.
<b>EXTERNAL SURFACES:</b> Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
<b>GLAZING:</b> Make good putty glazing.
<b>INTERNAL SURFACES:</b> Remove modern blind and associated fixings. Make good holes. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Remove security lock and make good damage in matching timber.
<b>Hardware:</b> <b>Sash lock:</b> Replace to match original. <b>Sash lifts:</b> Original brass. Clean and wax.
<b>Operation Overhaul:</b> Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
<b>Repairs:</b> Remove security lock. Repair damages with inserts in matching timber.
<b>Redecoration:</b> Paint strip dark green paint. Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

**NORTH EAST:**

<b>DOOR DF9:</b>
Retain door and architraves.
Adjust door and make fully functional.
Repair damages from previous Yale lock and light switch with inserts in matching timber.
<b>Hardware:</b> <b>Handle:</b> Brass and ceramic: Replace to match original. <b>Escutcheon:</b> Ceramic: Replace to match original.
<b>Decoration: Door &amp; Architrave</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

NORTH WEST:

DOOR DF7:
Retain door and architraves.
Adjust door and make fully functional.
Repair damages from previous Yale lock and light switch with inserts in matching timber.

<p><b>Hardware:</b> Handle: Brass and ceramic: Clean and conserve. Escutcheon: Ceramic: Clean and conserve.</p>
<p><b>Decoration: Door &amp; Architrave</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.</p>

**SOUTH WEST: Plain Wall**

See WALLS: ALL.

Repair fracture to plaster and brickwork, full height of wall. Replace associated defective render.

**FLOORS:**

Take up carpet, underlay and all fixings.

Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.

Sand and redecorate all areas which are not to be carpeted.

**ROOM 1.04 – FORMER BEDROOM**

**CEILING:**

Remove existing lighting and ventilation grille.

Open- up discrete area to investigate construction.

Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

**WALLS: ALL:**

Retain high level picture rail. Redecorate in tinted shellac in agreed colour and sheen.

Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.

Plaster walls:

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.

Redecorate to colour scheme approved by the Heritage Architect

**SKIRTING:**

Remove all power points, phone outlets, cabling and conduits.

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

**SOUTH EAST:**

<p><b>WINDOW WF 7:</b> Original timber sash window. Retain. Repair and conserve.</p>
<p><b>EXTERNAL SURFACES:</b> Survey in detail for necessary repairs. Undertake traditional timber repairs.</p>

<p>Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Survey in detail and undertake necessary repairs.</p>
<p><b>GLAZING:</b> Make good putty glazing.</p>
<p><b>INTERNAL SURFACES:</b> Remove modern blind and associated fixings. Make good holes. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.</p>
<p><b>Hardware:</b> <b>Sash lock:</b> Replace to match original (brass and ceramic). See Window W2. <b>Sash lifts:</b> Original brass. Paint strip, clean and wax. <b>Original blind nobs:</b> Replace 2 No. original brass blind nobs, to match original – See WF8.</p>
<p><b>Operation Overhaul:</b> Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.</p>
<p><b>Repairs:</b> Remove security lock. Repair damages with inserts in matching timber.</p>
<p><b>Redecoration:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.</p>

<p><b>WINDOW WF 8:</b></p>
<p>Original timber sash window. Retain. Repair and conserve.</p>
<p><b>EXTERNAL SURFACES:</b> Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Survey in detail and undertake necessary repairs.</p>
<p><b>GLAZING:</b> Make good putty glazing.</p>
<p><b>INTERNAL SURFACES:</b> Remove modern blind and associated fixings. Make good holes. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.</p>
<p><b>Hardware:</b> <b>Sash lock:</b> Replace to match original (brass and ceramic). See Window W2. <b>Sash lifts:</b> Original brass. Paint strip, clean and wax. <b>Original blind nobs:</b></p>

Clean and wax No. original brass blind nobs, to match original.
<b>Operation Overhaul:</b> Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
<b>Repairs:</b> Remove security lock. Repair damages with inserts in matching timber.
<b>Redecoration:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

**NORTH EAST:**

Redecorate vent grille.

Fireplace lintel:

Inspect substructure to determine cause of fracturing to lintel zone.

Undertake necessary repairs to substructure and re render area of damaged plaster.

<b>FIREPLACE:</b>
Retain existing ironwork and tiling.
Redecorate ironwork. Replace existing mantelpiece in marble. Details to be agreed with the Conservation Architect.
Hearth: Inspect for evidence of original hearth. Fix matching tiles to hearth, details to be agreed with the Conservation Architect.

**NORTH WEST: Plain Wall**

See WALLS: ALL.

Repair fractures to plaster/brickwork:

- 1 full height diagonal fracture

Re render whole wall, 3 coat traditional render.

**SOUTH WEST:**

Repair fractures to plaster/brickwork:

- 1 fracture, SE corner
- 2 fractures to ends of lintel to DF9.
- 1 full height fracture
- 2 fractures to ends of lintel to DF6.
- 1 fracture, NW corner

Re render whole wall, 3 coat traditional render.

<b>DOOR DF6:</b>
------------------

Retain architraves.
Replace door in solid timber to match original.
<b>Hardware:</b> Handle: Brass and ceramic: New to match original. Escutcheon: Ceramic: New to match original.
<b>Decoration:</b> <b>Architrave:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen. <b>New Door:</b> Hand prepare and sand all surfaces. Decorate in tinted shellac in agreed colour and sheen.

<b>DOOR DF9 :</b>
Retain door and architraves.
Adjust door and make fully functional.
Repair damages from previous Yale lock and light switch with inserts in matching timber.
<b>Hardware:</b> Handle: Brass and ceramic: Replace to match original. Escutcheon: Ceramic: Replace to match original.
<b>Decoration: Door &amp; Architrave</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

**FLOORS:**

Take up carpet, underlay and all fixings.

Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring. Sand and redecorate all areas which are not to be carpeted.

**ROOM 1.05**

**CEILING:**

Remove existing lighting and ventilation grille.

Open- up discrete area to investigate construction.

Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

**WALLS:**

**ALL:**

Retain high level picture rail. Redecorate in tinted shellac in agreed colour and sheen.

Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.



Plaster walls:

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.

Redecorate to colour scheme approved by the Heritage Architect

**SKIRTING:**

Remove all power points, phone outlets, cabling and conduits. Make good damages in matching timber inserts.

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

**SOUTH EAST: Plain Wall**

See WALLS: ALL.

Repair long diagonal crack to plaster and brickwork beneath.

**NORTH EAST:**

Redecorate wall vent.

<b>WINDOW WF 9:</b>
Retain original window.
<b>EXTERNAL SURFACES:</b> Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect. Replace 2 horizontal security bars to match the original. Retain, decorrode and decorate remaining original. Redecorate in accordance with the colour scheme determined above.
<b>GLAZING:</b> Make good putty glazing.
<b>INTERNAL SURFACES:</b> Retain original blind holder on one side and evidence of second holder on the other side. Remove modern blind and associated fixings. Make good holes. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
<b>Hardware:</b> <b>Sash lock:</b> Replace in brass and ceramic to match original. <b>Sash lifts:</b> Original brass. Clean and wax.
<b>Operation Overhaul:</b> Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
<b>Repairs:</b> Remove security lock. Repair damages with inserts in matching timber.
<b>Redecoration:</b> Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.
--

**NORTH WEST: Plain Wall with engaged piers**

See WALLS: ALL.

Redecorate wall vent.

**SOUTH WEST:**

Repair diagonal cracks to plaster and brickwork beneath:

1 to top right corner

2 to ends of door lintel

<b>DOOR DF5:</b>
Retain door and architraves.
Adjust door and make fully functional.
Repair damages due to previous lock and light switch with inserts in matching timber.
<b>Hardware:</b>
Handle:
Brass and ceramic: Replace to match original.
Escutcheon:
Ceramic: Replace to match original.
<b>Decoration – Door &amp; Architrave:</b>
Hand prepare and sand all surfaces.
Redecorate in tinted shellac in agreed colour and sheen.

**FLOORS:**

Take up carpet, underlay and all fixings.

Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.

Sand and redecorate all areas which are not to be carpeted.

**ROOM 1.06**

**CEILING:**

Remove existing lighting and ventilation grille.  
Open- up discrete area to investigate construction.  
Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

**WALLS:**

**ALL:**

Remove all, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits.  
Make good damages.  
Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.  
Redecorate to colour scheme approved by the Heritage Architect.

**SKIRTING:**

Remove all power points, phone outlets, cabling and conduits. Make good damages in matching timber.  
Hand prepare and sand all surfaces.  
Redecorate in tinted shellac in agreed colour and sheen.

**SOUTH EAST:**

<b>DOOR DF3:</b>
Retain door and architraves.
Resecure hinges. Adjust door and make fully functional.
Remove signage. Repair damages from previous Yale lock and light switch with inserts in matching timber.
<b>Hardware:</b> Handle: Brass and ceramic: Remove, clean and refix. Escutcheon: Ceramic: Replace. Repair damaged timber around opening.
<b>Decoration:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

<b>DOOR DF2:</b>
Retain door and architraves.
Adjust door and make fully functional.
Remove Yale lock. Repair damages with inserts in matching timber.
<b>Hardware:</b> Handle: Brass and ceramic: Replace to match original. Escutcheon: Ceramic: Clean and conserve. Repair damaged timber around opening.

**Decoration:**

Hand prepare and sand all surfaces.  
Redecorate in tinted shellac in agreed colour and sheen.

**NORTH EAST: Plain Wall**

See WALLS: ALL.

**NORTH WEST:**

**DOOR DF4:**

Retain door and architraves.

Adjust door and make fully functional.

Remove security lock. Repair damages with inserts in matching timber.

**Hardware:**

Handle and lock:

Brass: Remove, clean and refix.

**Glazed panel:**

Remove single pane of glazing.

Replace glazing beads and glazing to match original details.

**Decoration:**

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

**External decoration:**

Survey in detail for necessary repairs. Undertake traditional timber repairs.

Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

**WINDOW WF 10:**

Small timber sash window.

Retain original window.

**EXTERNAL SURFACES:**

Survey in detail for necessary repairs. Undertake traditional timber repairs.

Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

**GLAZING:**

Re-glaze top and bottom sashes, using putty glazing.

**INTERNAL SURFACES:**

Strip off white paint.

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

**Hardware:**

**Sash lock:**

Replace in brass to match WF11.

**Sash lifts:**

Original brass. Replace 2 No. to match originals (see WF11).

**Operation Overhaul:**

Make sashes fully functional.

Remove sashes and replace timber parting beads.

Replace sash cords, adjust sash weights as required.

**Repairs:**

Remove security lock. Repair damages with inserts in matching timber.

**SOUTH WEST: Plain Wall**

See WALLS: ALL.

**FLOORS:**

Take up carpet, underlay and all fixings.

Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.

Sand and redecorate all areas which are not to be recarpeted.

**ROOM 1.07 HALL**

**CEILING:**

Remove existing lighting and ventilation grille.  
 Open- up discrete area to investigate construction.  
 Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

**WALLS:**

**ALL:**

Retain high level picture rail.  
 Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.  
 Plaster walls:  
 Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.  
 Redecorate to colour scheme approved by the Heritage Architect

**SKIRTING:**

Remove all power points, phone outlets, cabling and conduits.  
 Hand prepare and sand all surfaces.  
 Redecorate in tinted shellac in agreed colour and sheen.

**SOUTH EAST: Wall with opening to Lobby.**

Replace defective render above high level picture rail.  
 Repair fractures above arched opening, both sides of wall.

**NORTH EAST:**

<b>DOOR DF5 :</b>
Retain door and architraves.
Adjust door and make fully functional.
Remove sticker/signage. Repair damages with inserts in matching timber.
<b>Hardware:</b> Handle: Brass and ceramic: Remove, clean and refix. Escutcheon: Ceramic: Remove, clean and refix. Repair damaged timber around opening.
<b>Decoration:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

**NORTH WEST:**

<b>DOOR DF2:</b>
Retain door and architraves.
Adjust door and make fully functional.

Remove Yale lock. Repair damages with inserts in matching timber.
<b>Hardware:</b> Handle: Brass and ceramic: Replace to match original. Escutcheon: Ceramic: Clean and conserve. Repair damaged timber around opening.
<b>Decoration:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

<b>DOOR DF3:</b>
Retain door and architraves.
Resecure hinges. Adjust door and make fully functional.
Remove signage. Repair damages from previous Yale lock and light switch with inserts in matching timber.
<b>Hardware:</b> Handle: Brass and ceramic: Remove, clean and refix. Escutcheon: Ceramic: Replace. Repair damaged timber around opening.
<b>Decoration:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

**SOUTH WEST:**

Arched opening to landing.

**FLOORS:**

Take up carpet, underlay and all fixings.

Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.

Sand and redecorate all areas which are not to be recarpeted.

**ROOM 1.07A LOBBY & CUPBOARD**

**CEILING:**

Open- up discrete area to investigate construction.

Replace in plain plaster with cornice all around. Replace top portion of the existing cornice to match the original profile, as approved by the Heritage Architect.

**WALLS:**

**ALL:**

All doors and timber paneling to be retained and conserved.

Remove all signage, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.

Plaster walls:

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.

Redecorate to colour scheme approved by the Heritage Architect

**SKIRTING:**

Remove all power points, phone outlets, cabling and conduits.

Hand prepare and sand all surfaces.

Redecorate in tinted shellac in agreed colour and sheen.

**SOUTH EAST:**

<b>DOOR DF7 :</b>
Retain door and architraves.
Adjust door and make fully functional.
Repair damages from previous Yale lock and light switch with inserts in matching timber.
<b>Hardware:</b> Handle: Brass and ceramic: Replace to match original. Escutcheon: Ceramic: Replace to match original.
<b>Decoration: Door &amp; Architrave</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

**NORTH EAST:**

<b>DOOR DF6:</b>
Retain architraves.
Replace door in solid timber to match original.
<b>Hardware:</b> Handle: Brass and ceramic: New to match original. Escutcheon: Ceramic: New to match original.
<b>Decoration:</b> <b>Architrave:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen. <b>New Door:</b> Hand prepare and sand all surfaces. Decorate in tinted shellac in agreed colour and sheen.

**NORTH WEST:**

Arched opening to Hall 1.07.

**SOUTH WEST: Electrical Services Cupboard**



Remove all service boxes and associated cabling and conduits.  
 Make good damages to walls in plaster to match.  
 Make good damage to timber framing in timber inserts.

<b>DOOR DF8 :</b>
Retain door, architraves and associated paneling.
Adjust door and make fully functional.
Remove junction box and cabling. Repair damages with inserts in matching timber.
<b>Hardware:</b> Handle: Brass and ceramic: Remove, clean and refix. Escutcheon: Ceramic: Replace
<b>Decoration:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

**FLOORS:**

Take up carpet, underlay and all fixings.  
 Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.  
 Sand and polish all areas which are not to be recarpeted.

**ROOM 1.08 EXTERNAL VERANDAH**

**BIRD GUANO:**

Prior to any works or investigations, the whole verandah is to be encapsulated in heavy duty plastic. All bird guano is to be removed by specialist contractors using pressure water and/or steam cleaning. All deposits and runoffs are to be collected and disposed of as Special Waste. Cleaning is to include all surfaces of the galvanized floor and the walls down to and including the metal roof beneath. A final clean of all surfaces is to be mad after the removal of all redundant equipment as described above.

**LEAN TO CORUGATED IRON ROOF:**

Replace to match original, including associated flashings, gutter and down pipes.

**RENDERED WALLS (S.E. & S.W. WALLS):**

Remove all plant, ducts, cabling, conduits, junction boxes  
 Remove all, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits.  
 Make good damages.

**RENDER REPAIRS & REDECORATION:**

Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.  
 Redecorate to colour scheme approved by the Heritage Architect.

**TIMBER LATTICE ENCLOSURE (N.E. & N.W. WALLS):**

Remove lattice and first floor columns. Review the veranda beam structure at first floor and roof levels for original timbers. If likely original timbers are found, use as much salvaged timber in good condition as possible.

Rebuild the rear veranda to detail consistent with Mansfield's other designs for similar banks.

Reform 2 doors in their openings.

**NORTH-WEST WALL:**

<b>DOOR DF4:</b>
Retain door and architraves.
Adjust door and make fully functional.
Remove security lock. Repair damages with inserts in matching timber.
<b>Hardware:</b>
Handle and key hole:
Brass: Remove, clean and refix.
<b>Glazed panel:</b>
Remove single pane of glazing.
Replace glazing beads and glazing to match original details.
<b>External decoration:</b>
Survey in detail for necessary repairs. Undertake traditional timber repairs.
Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

<b>WINDOW WF 10:</b>
Small timber sash window.
Retain original window.
<b>EXTERNAL SURFACES:</b>
Survey in detail for necessary repairs. Undertake traditional timber repairs.
Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
<b>GLAZING:</b>
Re-glaze top and bottom sashes, using putty glazing.

**SOUTH-WEST WALL:**

<b>WINDOW WF11:</b>
Small timber sash window. Retain original window.
<b>EXTERNAL SURFACES:</b> Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
<b>GLAZING:</b> Reglaze both sashes with putty glazing.
<b>Redecoration:</b> Hand prepare and sand all surfaces. Redecorate as part of colour scheme agree with the Conservation Architect.

**ROOM 1.09 MODERN TOILETS**

Carefully remove all partitions, wall tiling, suspended ceilings, basins, toilets.  
Remove all redundant pipes, fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.  
Carefully remove all floor tiling to expose original flooring. Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.  
Sand and redecorate all areas which are not to be carpeted.  
Prepare wall surfaces for re-rendering in traditional 3 coat render, unlined.

<b>DOOR DF11 (Ladies):</b>
Retain door and architraves.
Adjust door and make fully functional.
Remove signage.
<b>Hardware:</b> Handle: Brass and ceramic I clean and conserve. Escutcheon: -
<b>Decoration:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

**ROOM 1.10 MODERN TOILETS**

Carefully remove all partitions, wall tiling, suspended ceilings, basins, toilets.  
Carefully remove all floor tiling to expose original flooring. Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.  
Remove all redundant pipes, fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.  
Sand and redecorate all areas which are not to be recarpeted.  
Prepare wall surfaces for re-rendering in traditional 3 coat render, unlined.

<b>DOOR DF10 (Men's) :</b>
Retain door and architraves.
Adjust door and make fully functional.
Remove signage.
<b>Hardware:</b> Handle: Clean and conserve original. Escutcheon: -
<b>Decoration:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

<b>WINDOW WF11:</b>
Small timber sash window. Retain original window.
<b>EXTERNAL SURFACES:</b> Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
<b>GLAZING:</b> Make good putty glazing as necessary.
<b>INTERNAL SURFACES:</b> Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
<b>Hardware:</b> <b>Sash lock:</b> Brass: replace to match original. <b>Sash lifts:</b> Clean and wax original brass.
<b>Operation Overhaul:</b> Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
<b>Repairs:</b> Remove security lock. Repair damages with inserts in matching timber.
<b>Redecoration:</b> Hand prepare and sand all surfaces. Redecorate in tinted shellac in agreed colour and sheen.

### **ROOM 1.11 MODERN TOILETS**

Carefully remove all partitions, wall tiling, suspended ceilings, basins, toilets.  
Carefully remove all floor tiling to expose original flooring. Review condition and appearance of timber flooring. Undertake necessary repairs to match exiting flooring.  
Remove all redundant pipes, fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.  
Sand and redecorate all areas which are not to be recarpeted.

Prepare wall surfaces for re-rendering in traditional 3 coat render, unlined.

<b>WINDOW WF12:</b>
Retain original window.
<b>EXTERNAL SURFACES:</b> Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
<b>GLAZING:</b> Reglaze both sashes with putty glazing (4 panes).

<b>INTERNAL SURFACES:</b> Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
<b>Hardware:</b> <b>Sash lock:</b> Replace in brass to appropriate design. <b>Sash lifts:</b> Paint strip, clean and wax original brass.
<b>Operation Overhaul:</b> Make sashes fully functional. Remove sashes and replace timber parting beads. Replace sash cords, adjust sash weights as required.
<b>Repairs:</b> Remove security lock. Repair damages with inserts in matching timber.
<b>Redecoration:</b> Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

**PART B EXTERIOR**

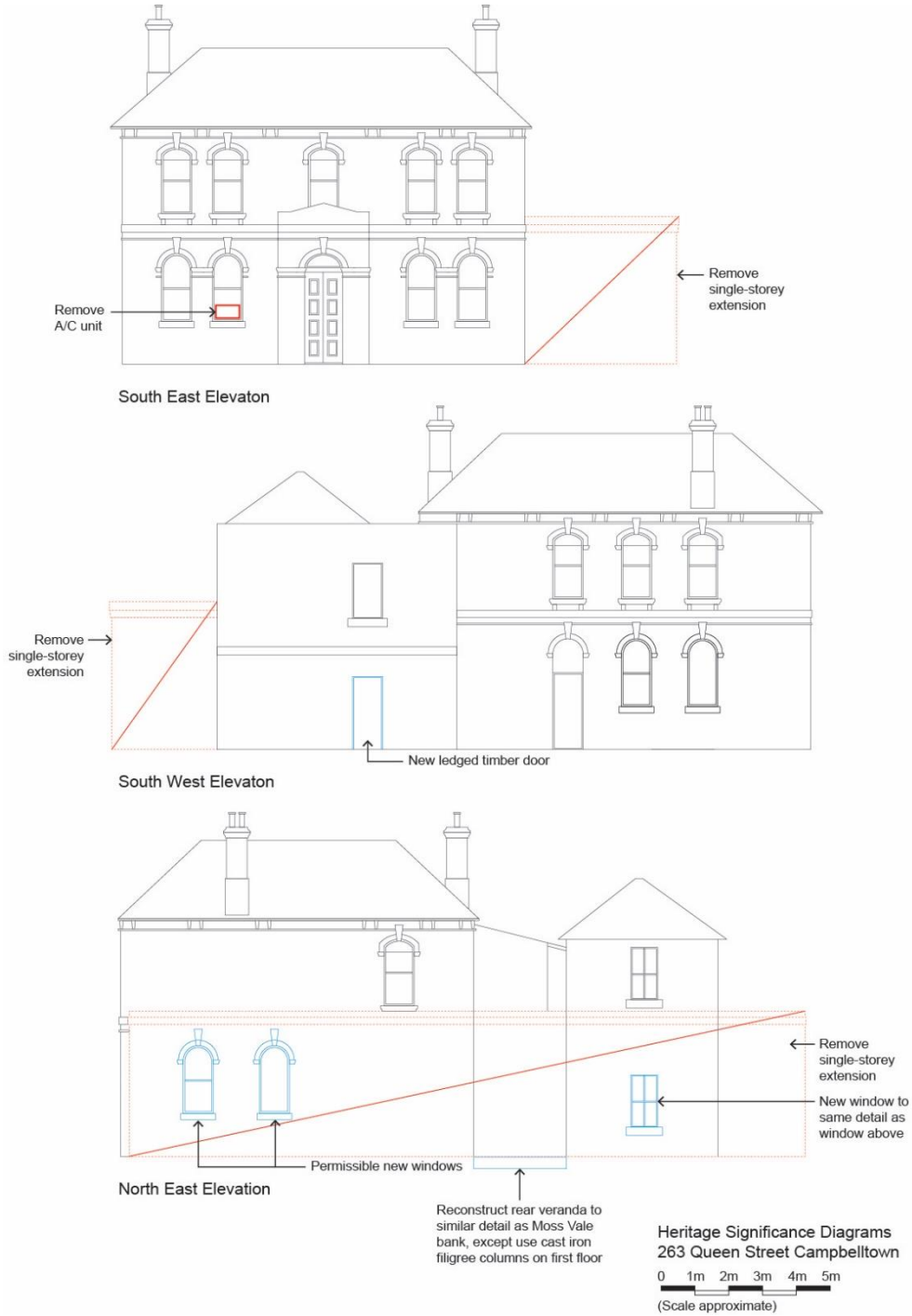


Figure 4 – Heritage Significance Diagram Elevations

**B 1.0 ROOFS AND CHIMNEY STACKS****B1.1 ROOFS****B1.1.1 RE-DESIGN OF THE RAINWATER DISPOSAL SYSTEM**

- The sizes of gutters and the sizes and numbers of downpipes to the roofs to the Main Building and the Services Building are to be assessed and reviewed by a specialist roofing surveyor experienced in determining the adequacy of existing grey water disposal systems. The valley gutter and its water disposal system is to be included in this review.
- Install two additional downpipes to the main building, to match the existing.
- Correct and rebuild the rain water disposal from the gutter at the southern corner of the main building.
- Reconstruct the collection and disposal all rainwater between the main building and the Services building.
- All existing down pipes and the additional ones required as part of the redesign are to be extended to ground level and connected to the building's new storm water system.

**B1.1.2 DOUBLE HIPPED ROOF TO THE MAIN BUILDING (SLATE WITH TERRACOTTA RIDGE CAPS)****Repairs to Slate and Terracotta:**

Slate roofing contractor specialised in the prepare and conservation of Heritage Roofing is to be engaged to access the roof surfaces and assess details conditions and necessary repairs. A report with illustrations and recommendations for repairs and ongoing maintenance works is to be provided.

The following works out to be allowed for subject to review following the specialist roofer inspection:

- Replacement of flashings and soakers to 3 chimney stacks.
- Resetting of select terracotta Ridge caps as required, in mortar to match existing.
- Re fixing of slipped slates.
- Replacement of laminated, cracked or otherwise defective slates.
- Repair and replacement work to be undertaken in matching slate with copper fixings.
- Replace 3m<sup>2</sup> area of missing Slate to the NE face of the southern roof, including battens and lining.

**Valley Gutter**

- Specialist roofing contractor is also to inspect the valley gutter, its flashings and outlets.
- Allow to replace the gutter in sheet lead with neoprene joints, plus flashings. Also, rebuild transition under edge of slate roof. Replace spreader hopper.

**Rainwater Goods – Main Building**

- Replace gutter to south end of SE elevation.
- Replace associates timber fascia.
- Repair select areas of fascia to main building elsewhere.

**B1.1.3 HIPPED ROOF TO SERVICES BUILDING (SLATE WITH TERRACOTTA RIDGE CAPS)**

This roof is to be part of the inspections in B1.1.2 and the redesign in B1.1.1.

The following works out to be allowed for subject to review following the specialist roofer inspection:

- Resetting of select terracotta Ridge caps as required, in mortar to match existing.
- Re fixing of slipped slates.
- Replacement of laminated, cracked or otherwise defective slates.

Repair and replacement work to be undertaken in matching slate with copper fixings.



**Rainwater Goods – Services Building**

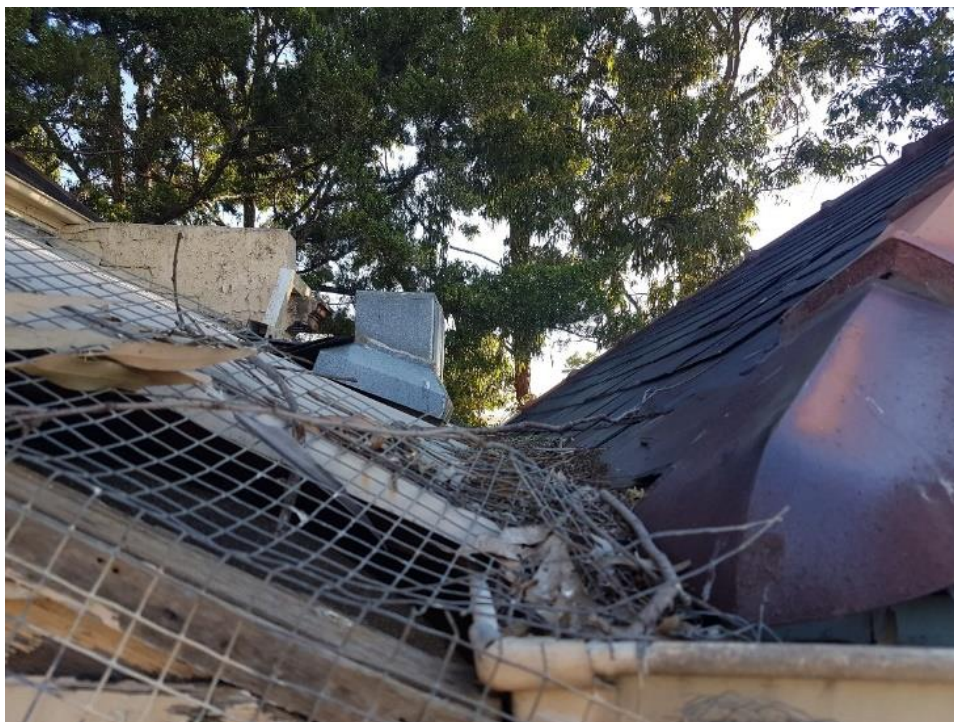
Replace gutter to SE elevation and 3m returns to associated elevations.

Replace timber fascia and soffit to the same areas.

**B1.1.4 LEAN TO ROOF BETWEEN THE BUILDINGS**

To be replaced as part of the replacement of the veranda to this level. This includes all associated flashings and rainwater disposal.

Carefully remove the existing roofing taking care to minimise disturbance to the original masonry as much as possible. Repair all cavities so formed.



*Figure 5 – View of the roof between the Services Building and the Main Building*

## **B2.0 CHIMNEY STACKS**

### **All Stacks:**

- Provide scaffold access to all faces of each stack.
- Determine condition of each chimney pot and associated flaunching.
- Allow to replace two pots to match existing.
- Re flaunching all stacks and undertake necessary repairs to all associated masonry.
- Hammer test the render to all surfaces.
- Redecorate render defective areas
- Remove all flaking and impervious paint and re decorate in colour to be determined by the conservation architect.



*Figure 6 – Chimney Stack 1, North East Elevation, Main Building*

## B2.0 ELEVATIONS

### B2.1 SOUTH EAST ELEVATION (QUEEN STREET)

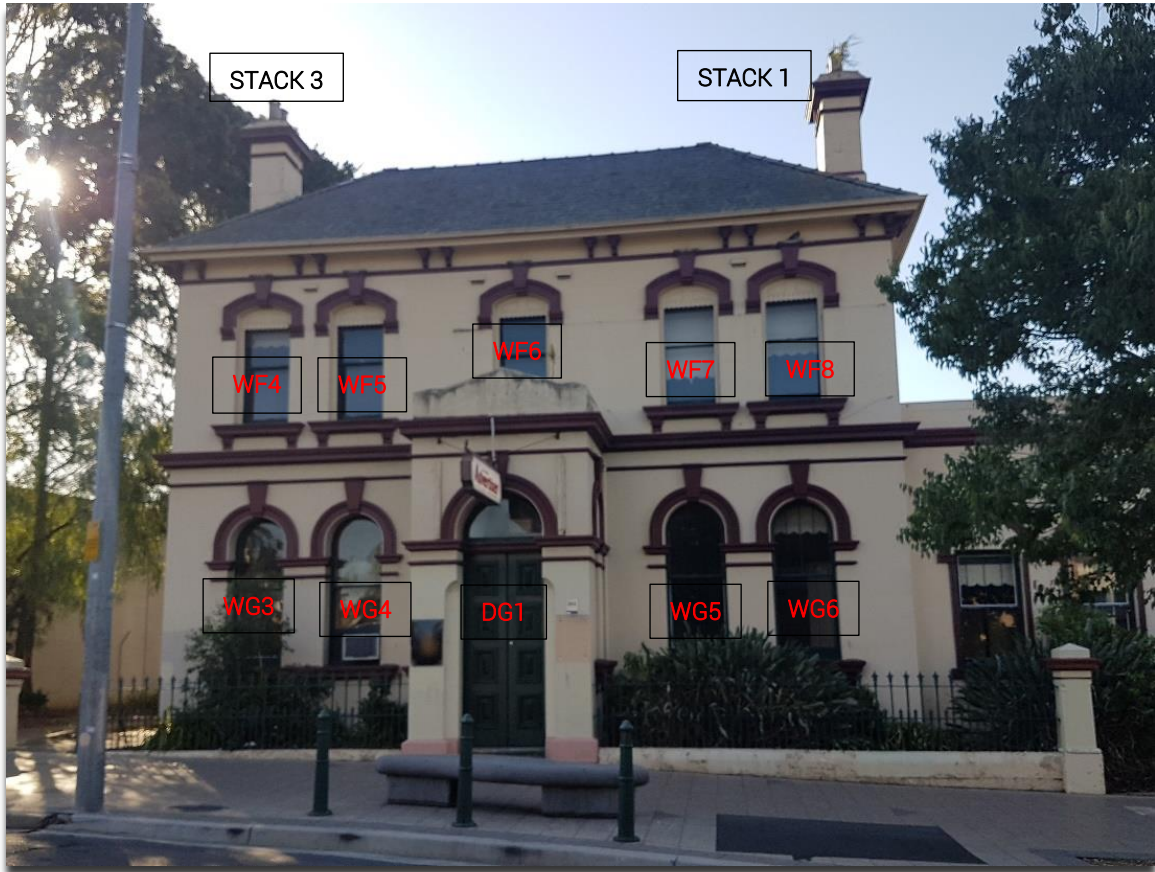


Figure 7 – Queen Street Elevation

**Gutter & Eaves:**

- Replace galvanized iron gutter to match the existing, if required.
- Otherwise repair, Resecure and redecorate.
- Repair timber fascia and eaves and redecorate.

**All Render:**

- Hammer test all render to locate drummy areas.
- Rerender in rectangular areas and to match existing layers, mortars, and surface coursing.
- Remove all loose paint back to a sound surface.
- Repaint in colour scheme agreed with the Conservation Architect.
- Type of paint is to be compatible with all the paint types left on the prepared surfaces.

**Roll Moulding & Brackets**

- Inspect close range for necessary repairs and undertake.
- Ensure all brackets are secure.
- Redecorate.

**Decorative Heads & Sills: First Floor**

- Inspect close range for necessary repairs and undertake.
- Ensure all projecting sections are secure.
- Redecorate.

**Timber Windows & Decorative Screening: First Floor**

- Windows WF4, WF5, WF6, WF7, WF8.
- Inspect close range for necessary repairs and undertake.
- Undertake indent repairs to Sill WF6 and others as required.
- Reform mortar packing between the timberwork and adjacent render.
- Redecorate.

**First Floor Cornice/String Course**

- Inspect close range for necessary repairs and undertake.
- Ensure all sections are secure and all joints fully pointed.
- Redecorate.

**Decorative Heads & Sills: Ground Floor**

- Inspect close range for necessary repairs and undertake.
- Ensure all projecting sections are secure.
- Redecorate.

**Timber Windows: Ground Floor**

- Windows WG3, WG4, WG5, WG6
- Inspect close range for necessary repairs and undertake.
- Reform mortar packing between the timberwork and adjacent render.
- Remove air conditioning unit and associated boarding to WG4. Repair any damages to the timber in matching timber.
- Redecorate.

**Stone Plinth**

- Chemically paint strip to remove all paint.
- Cut out and repoint all joints.

**B2.1.1 PORCH**



*Figure 8 – Porch*

- Hammer test all render to determine drummy areas. Replace in matching render. Undertake other minor render repairs.
- Re secure any loose stonework.
- Re render upstand above top cornice, front, top and rear down to flashings.
- Remove timber battens and make good holes.
- Remove sign to keystone and all supports and conduits. Make good holes.
- Remove fixings to previous signage and make good holes.
- Paint strip stone plinth and repoint.
- Replace threshold in Mintaro slate.

<b>DOOR DG1:</b>
Retain door and architraves.
Take down doors and transport to joiner's workshop. Re glue and strengthen all loose joints. Indent repair bottom edge of door to match existing. Paint strip green to both sides.
Refix doors and make fully functional. Replace all mortar fill between timber architrave and render.
Indent bottom 250mm of external left architrave to match existing.
<b>Hardware:</b> Brass: Remove, clean and refix.
<b>Glazed panel:</b> Make good putty glazing.
<b>External decoration:</b> Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

**Porch Roof:**

- Replace galvanized sheet roofing in lead sheet Code 6, to LSA details.
- Replace gutter all associated lead flashings. Make good previous reglets and reform new ones as required.
- Redesign North end of the gutter to improve junction with external down pipe and to improve cleaning access. In stall brass mesh leaf cage over North end.
- Replace galvanized + pvc round downpipe to external wall, to match existing galvanized.



Figure 9 – Roof of the Queen Street porch

B2.1.2 RAILINGS



Figure 10 – Queen Street railings



Figure 11 – Position of gate to the Queen Street railings

**Both Sections of Railings:**

To be abrasive cleaned to remove all rust and defective paint.

Specialist contractor to test for lead based paint and undertake the cleaning in accordance with the relevant Codes of Practice. Works are to include the setup of all necessary protection and to contain all abrasive during the cleaning and clean up processes. All necessary permits are to be in place. The specialist contractor is to provide a Methodology for the works for approval prior to commencement.

Repaint in the following alkyd paint system:

Zinc rich primer

MIO undercoat

Colour matched undercoat

Top coat to approved colour.

**New Gate:**

Manufacture and install new wrought and cast iron gate to the space adjacent to Pier 1.

Specialist metal contractor to provide shop drawings for prior approval.

Gate to include hinges, and latch to traditional detail.

Install fully functional.

Paint as per the railings above.

**Stone Plinth:**

Chemical strip all paint.

Cut out all joints and repoint all sides.

Undertake other minor repairs.

**B2.1.3 STONE PIERS****Pier 1:**

- Replace full pier to original detail (See Pier 2), in hard sandstone.
- Original sandstone size and detail to be matched.
- Sample of stone to be provided to Conservation Architect for approval.
- Take down existing pier and remove stone from site.
- Form new reinforced concrete footing.
- Install new stone pier and point up.

**Pier 2:**

- Chemically paint strip off all paint.
- Specialist contractor to test for lead based paint and undertake the cleaning in accordance with the relevant Codes of Practice. Works are to include the setup of all necessary protection and to contain all abrasive during the cleaning and clean up processes. All necessary permits are to be in place. The specialist contractor is to provide a Methodology for the works for approval prior to commencement.
- Inspect cleaned stone with Conservation Architect to agree scope of minor repairs.
- Fully repoint.



**B2.2 NORTH EAST ELEVATION**



Figure 12 – Single storey building to be demolished



Figure 13 – First floor façade to be retained

**Gutter & Eaves:**

- Replace galvanized iron gutter to match the existing, if required.
- Otherwise repair, Resecure and redecorate.
- Repair timber fascia and eaves and redecorate.

**All Render:**

- Hammer test all render to locate drummy areas.
- Rerender in rectangular areas and to match existing layers, mortars, and surface coursing.
- Repaint in colour scheme agreed with the Conservation Architect.
- Type of paint is to be compatible with all the paint types left on the prepared surfaces.

**Roll Moulding & Brackets:**

- Inspect close range for necessary repairs and undertake.
- Ensure all brackets are secure.
- Redecorate.

**Decorative Head & Sill: First Floor:**

- Inspect close range for necessary repairs and undertake.
- Ensure all projecting sections are secure.
- Redecorate.

**Timber Window & Decorative Screening: First Floor**

**Window WF9**

- Inspect close range for necessary repairs and undertake.
- Reform mortar packing between the timberwork and adjacent render.
- Redecorate.

**First Floor Cornice/String Course & Roll Moulding:**

- Inspect close range for necessary repairs and undertake.
- Ensure all sections are secure and all joints fully pointed.
- Redecorate.

**Making good roof zone once ground floor building is demolished:**

- Infill all holes with brick and then render to match existing up to match original surface.
- Make good all fixing holes and reglets.
- When repaired, this zone is to match the existing render above and the new render to the ground floor below.

**B2.3 NORTH WEST ELEVATION**

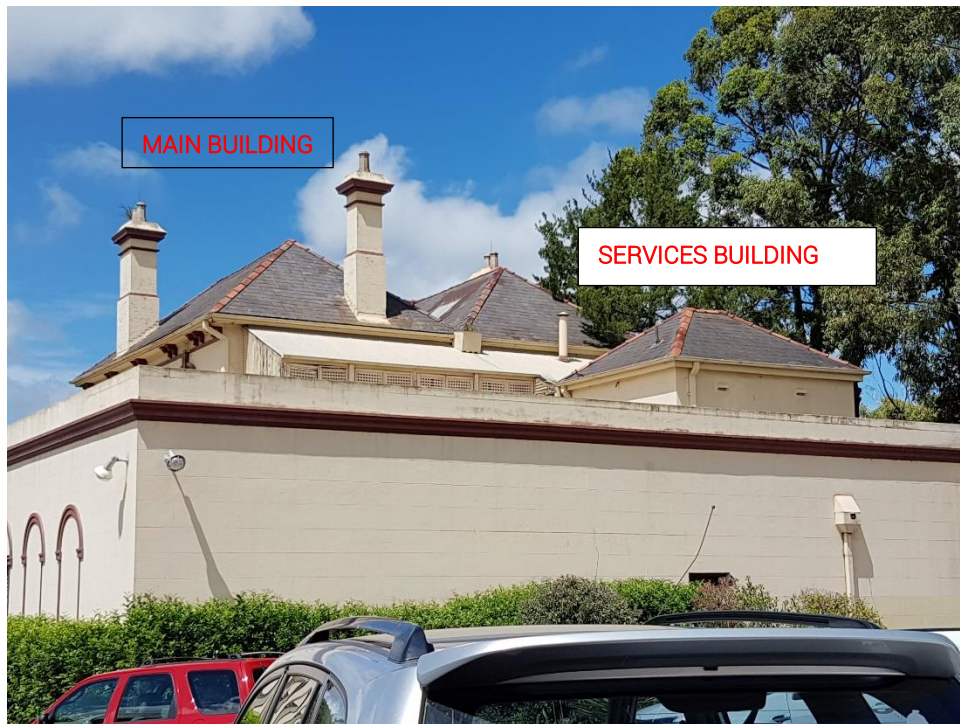


Figure 14 – Ground floor building to be demolished



Figure 15 – First floor Main Building with verandah



Figure 16 – The Services Building – first floor

### **B2.3.1 VERANDAH TO THE MAIN BUILDING**

#### **Bird Guano:**

- Prior to any works or investigations, the whole verandah is to be encapsulated in heavy duty plastic. All bird guano is to be removed by specialist contractors using pressure water and/or steam cleaning.
- All deposits and runoffs are to be collected and disposed of as Special Waste.
- Cleaning is to include all surfaces of the galvanized floor and the walls down to and including the metal roof beneath.
- A final clean of all surfaces is to be made after the removal of all redundant equipment as described above.

#### **Lean to Corrugated Iron Roof:**

- Replace to match original, including associated flashings, gutter and down pipes.

#### **Rendered Walls (S.E. & S.W. Walls):**

- Remove all plant, ducts, cabling, conduits, junction boxes.
- Remove all, redundant fixings, light switches, power points, phone outlet, junction boxes and conduits. Make good damages.
- Render Repairs & Redecoration:
- Hammer tap all surfaces to identify drummy areas. Replace areas of unsound plaster.
- Prepare paintwork to a sound surface.
- Redecorate to colour scheme approved by the Heritage Architect.
- Type of paint to be compatible with all paint types remaining on the walls.

#### **Rear Verandah (Timber Lattice Enclosure (N.E. & N.W. Walls))**

- Reconstruct the rear verandah to match the form and carpentry details at the former CBC bank branch at 478 Argyle Street, Moss Vale. Use minimum three timber columns at ground level, each 150x150 hardwood. At first floor, use cast iron filigree columns similar

to column No. 10 in the Wagga Iron Foundry General Column Catalogue. Undertake localised repairs and strengthening as required.

- Reform 2 doors in their openings.
- Prepare paintwork to a sound surface.
- Redecorate to colour scheme approved by the Heritage Architect.
- Type of paint to be compatible with all paint types remaining on the timber.

**NORTH-WEST WALL:**

<b>DOOR DF4:</b>
Retain door and architraves.
Adjust door and make fully functional.
Remove security lock. Repair damages with inserts in matching timber.
<b>Hardware:</b> Handle and key hole: Brass: Remove, clean and refix.
<b>Glazed panel:</b> Remove single pane of glazing. Replace glazing beads and glazing to match original details.
<b>External decoration:</b> Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.

<b>WINDOW WF 10:</b>
Small timber sash window. Retain original window.
<b>EXTERNAL SURFACES:</b> Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
<b>GLAZING:</b> Re-glaze top and bottom sashes, using putty glazing.

**B2.3.2 SOUTH WEST WALL**

<b>WINDOW WF11:</b>
Small timber sash window. Retain original window.
<b>EXTERNAL SURFACES:</b> Survey in detail for necessary repairs. Undertake traditional timber repairs. Prepare all timber surfaces and redecorate to colour scheme approved by the Heritage Architect.
<b>GLAZING:</b> Reglaze both sashes with putty glazing.
<b>Redecoration:</b> Hand prepare and sand all surfaces. Redecorate as part of colour scheme agree with the Conservation Architect.

**B2.4 SOUTH WEST ELEVATION**

**B2.4.1 MAIN BUILDING**



Figure 17 – South West elevation, first floor - Main Building



Figure 18 – South West elevation, ground floor - Main Building



Figure 19 – South West elevation, ground floor - Main Building

#### **Gutter & Eaves**

Replace galvanized iron gutter to match the existing, if required.

Otherwise repair, Resecure and redecorate.

Repair timber fascia and eaves and redecorate.

#### **All Render:**

- Hammer test all render to locate drummy areas.
- Rerender in rectangular areas and to match existing layers, mortars, and surface coursing.
- Remove all loose paint back to a sound surface.
- Repaint in colour scheme agreed with the Conservation Architect.
- Type of paint is to be compatible with all the paint types left on the prepared surfaces.
- Rerender upstand where wall is stepped down (outlined).

#### **Roll Moulding & Brackets**

- Inspect close range for necessary repairs and undertake.
- Ensure all brackets are secure.
- Redecorate.

#### **Decorative Heads & Sills: First Floor**

- Inspect close range for necessary repairs and undertake.
- Ensure all projecting sections are secure.
- Redecorate.

#### **Timber Windows & Decorative Screening: First Floor**

##### **Windows WF2 and WF3**

- See Internal Schedule of Works for further works.
- Inspect close range for necessary repairs and undertake.
- Undertake indent repairs to timber sills as required.
- Reform mortar packing between the timberwork and adjacent render.
- Redecorate.

**First Floor Cornice/String Course:**

- Inspect close range for necessary repairs and undertake.
- Ensure all sections are secure and all joints fully pointed.
- Redecorate.

**Decorative Heads & Sills: Ground Floor:**

- Inspect close range for necessary repairs and undertake.
- Ensure all projecting sections are secure.
- Redecorate.

**Timber Window: Ground Floor**

Window WG1:

- Inspect close range for necessary repairs and undertake.
- Reform mortar packing between the timberwork and adjacent render.
- Redecorate.

**Stone Plinth**

- Chemically paint strip to remove all paint.
- Cut out and repoint all joints.



**B2.4.2 SERVICES BUILDING & STOREROOM / BREEZEWAY**



Figure 20 & Figure 21 – South West elevation – lintels to be replaced and surfaces rerendered



Figure 22 – South West elevation – Services Building, ground floor

**Gutter & Eaves**

- Replace galvanized iron gutter to match the existing, if required.
- Otherwise repair, Resecure and redecorate.
- Repair timber fascia and eaves and redecorate.

**All Render:**

- Hammer test all render to locate drummy areas.
- Rerender in rectangular areas and to match existing layers, mortars, and surface coursing.
- Remove all loose paint back to a sound surface.
- Repaint in colour scheme agreed with the Conservation Architect.
- Type of paint is to be compatible with all the paint types left on the prepared surfaces.

**Lintel Repair & Rendering**

**To areas shown outlined yellow:**

- Replace lintel above WF1 and DG1 and rerender to match existing.
- Undertake all necessary substrate repairs.

**To the full height of the Southern corner to the Services Building:**

- Modern extension to be carefully removed to cause no further damage to the Services Building.
- Repair render to all "blocks" of render to the corner for the full height of the building.
- Build out and repair first floor string course.

**Stone Plinth:**

- Chemically paint strip to remove all paint.
- Cut out and repoint all joints.

## PART 3 SPECIFICATION

### C1.0 INTERNAL WORKS

#### C1.1 INTERNAL RENDER REPAIR

##### C1.1.1 SURFACE PREPARATION

Hammer test all render to locate drummy areas.

Areas to be re rendered should be rectangular.

Cut straight edges with a craft tool or similar. Undercut all edges to provide a key for the new plaster.

Drummy or decayed render should be carefully removed with a minimum of vibration to the walls. Loose pointing should be raked out and replaced prior to rendering. Brush the wall to remove loose material.

##### C1.1.2 CRAFT SKILLS

This work is to be undertaken by traditionally skilled plasterers who understand the materials they are working with.

##### C1.1.3 MORTAR MATERIALS

Lime render mortars are to be based on slaked lime putty at least 6 months old.

The following mixes can be prepared with lime putty, sharp well graded sand or be based on a pre-mixed coarse stuff of 3 part sharp, well graded sand to 1 part lime putty.

COAT	MIX (PARTS BY VOLUME)
SCRATCH COAT	1:2.5, no thicker than 15mm
FLOATING COAT	1:3, no thicker than 15mm
FINISHING COAT (multiple layers)	1:3, fine well graded sand, each layer up to 5mm thick, final coat may be gauged with Plaster of Paris.

All mixes are to be prepared with the minimum of water and to be of a firm consistency which hangs to an upturned trowel.

Prior to applying the plaster thoroughly wet the wall with clean water. Repeat until the surface layers of the wall are thoroughly damp.

##### Scratch Coat

Leave the scratch coat to dry and shrink before attempting to apply the next coat (2-4 weeks). Do not allow it to dry out too rapidly, which can cause it to fail. Cover new plaster with a double layer of hessian or polythene. Do not use dehumidifiers.

Once the pad of a thumb can no longer indent the scratch coat it is ready to take the next coat. Brush off loose surface material and lightly wet with a hand spray. Dampen more if the surface has been left to dry out further.

##### Floating Coat

Once it has begun to stiffen up, consolidate the floating coat by 'rubbing up' the surface using a wooden float to counteract shrinkage. To be undertaken once or twice on the day of application, and on the following day.

Once the surface has been compacted, use a 'devil float' to form a key for the finish coat. It should then be left for about a week or so before it is ready for the final coat.

**Finishing Coat**

To be applied in two or three very thin layers.

Pre-wet the surface. Skim on each layer as thinly as possible, working in alternate directions each time. Place over the previous one as soon as it has had a chance to 'steady-up'. Once firm, scour to compact and consolidate the surface using a cross-grained wood float. Alternately, gauge the setting coat with Plaster of Paris to minimise the need for scouring.

Do not feather the edge of the patch over the surrounding plaster.

**C1.1.4 SAMPLES OF MATERIALS AND WORKMANSHIP**

The specialist contractor is to prepare a sample of materials and workmanship which demonstrates all stages in the process of render repair, to include:

- Removal of defective render and preparation of the background and the repair edges.
- Dubbing out.

**C1.2 FRACTURE REPAIRS TO INTERNAL WALLS**

See fractures identified in the room-by-room schedules of works included.

Cracks greater than 2mm in a lime-based stucco should be carefully cut out to form a slight undercut which will act as a key. thoroughly flushed out with water to remove dust and loose debris. Fill fracture with new mortar based on insitu trial results. Adjust the aggregate size in accordance with the crack size.

Use the mortars set out in C1.1.3.

**C1.3 INTERNAL PLASTER REDECORATION**

Due to the extent of previous remedial works to the building interior the new paint system used for the new redecoration must matched to the existing coatings and must be compatible with these.

The specialist contractor is to seek the technical advice of a quality paint manufacturer and is to provide a report from the manufacturer with recommendations of the appropriate paint type/s that are to be used.

The specialist contractor is to undertake sample of coating application to demonstrate the selection of the correct paint type. More than one paint type may be required to achieve the required colour scheme to all the internal wall and ceiling surfaces.

## C2.0 EXTERNAL WORKS

### C2.1 ROOF REPAIRS

#### C2.1.1 RE-DESIGN OF THE RAINWATER DISPOSAL SYSTEM

The sizes of gutters and the sizes and numbers of downpipes to the roofs to the Main Building and the Services Building are to be assessed and reviewed by a specialist roofing surveyor experienced in determining the adequacy of existing grey water disposal systems. The valley gutter and its water disposal system is to be included in this review.

Install two additional downpipes to the main building, to match the existing.

#### C2.1.2 SPECIALIST REPORT ON THE REPAIRS TO SLATE AND TERRACOTTA

Slate roofing contractor specialised in the prepare and conservation of Heritage Roofing is to be engaged to access the roof surfaces and assess details conditions and necessary repairs. A report with illustrations and recommendations for repairs and ongoing maintenance works is to be provided.

The following works out to be allowed for subject to review following the specialist roofer inspection:

- Replacement of flashings and soakers to 3 chimney stacks.
- Resetting of select terracotta Ridge caps as required, in mortar to match existing.
- Re fixing of slipped slates.
- Replacement of laminated, cracked or otherwise defective slates.

#### C2.1.3 LEAD SHEET FLASHINGS AND ROOFING

All leadwork is to be undertaken by a specialist contractor experienced in the repair of traditional roofing. All work is to be undertaken in accordance with the Lead Sheet Association, 'Rolled Lead Sheet, The Complete Manual', 2016 and all the LSA Information Sheets.

Drawings are to be provided for all new leadwork.

### C2.2 RENDER REPAIRS

#### C2.2.1 PREPARATION

##### Hammer Testing

Hammer test all render to locate drummy areas.

Rerender in rectangular areas and to match existing layers, mortars, and surface coursing.

##### Marking up areas of defective render

Edges or repair areas are to follow the joint line of the original lining out pattern.

##### Cutting out

Cut out with sharp chisels to the backing, with straight sides and undercut edges to all but the bottom side.

Clear all loose material by brush and/or compressed air.

Dub out all hollows and depressions in base coat mortar in layers of less than 10mm.

Larger voids should be built out in this mortar with pieces of broken tile or brick.

Rake out the joints in brick substrate to a depth of 15-20mm.

#### C2.2.2 MORTAR MIXES AND PLACEMENT

The following mixes can be prepared with lime putty, sharp well graded sand or be based on a pre-mixed coarse stuff of 3 part sharp, well graded sand to 1 part lime putty.

All mortars must be a firm consistency which hangs to an upturned trowel.

<b>BASE COAT</b>	1:1:6, cement: lime putty: sand, 10-15mm thick, keyed surface
<b>DUBBING COAT</b>	1:1:6, cement: lime putty: sand, 5-10mm thick, keyed surface.
<b>TOP COAT</b>	1:2:9, cement: lime putty: sand, 5-10mm thick, wood float finish and/or lightly scraped with a fine hacksaw blade. Lining out must match the previous pattern, using a rule and marking tool.

### Application and curing

Thoroughly pre-wet surfaces to which render mix is to be applied. Do not leave ponded water. Press each layer firmly to the dampened background. Scratch key the surfaces of all layers except the top coat. Control the drying out to prevent mix failure, cracking or detachment.

### **C2.2.3 SAMPLES OF MATERIALS AND WORKMANSHIP**

The specialist contractor is to prepare a sample of materials and workmanship which demonstrates all stages in the process of render repair, to include:

- Removal of defective render and preparation of the background and the repair edges.
- Dubbing out.
- Scratch coat.
- Floating coat.
- Finishing coat layers, with final surface finish.

### **C2.3 PAINTING – ALL SURFACES**

#### **C2.3.1 LEAD-BASED PAINTS**

The external paint layers are to be tested for the presence of lead. A report of the test results is to be provided.

The specialist contractor is to allow for all paints to be removed, prepared and redecorated as if previous layers contain lead.

All testing, surface preparation and redecoration work is to be undertaken in accordance with the requirements of the following documents:

AS4361.2 – 1998: Guide to lead paint management: residential and commercial buildings

SafeWork NSW Lead Notification of lead risk work

WorkSafe Victoria: Managing lead-based paint removal

WorkCover Queensland: Working with lead based paints

The painting contractor is to provide a Methodology for the surface preparation and redecoration for approval, prior to ordering paint.

#### **C2.3.2 CLOSE RANGE INSPECTION OF PAINT CONDITIONS AND SUITABILITY AS A SUBSTRATE FOR REDECORATION**

Due to the extent of previous remedial works to the building interior the new paint system used for the new redecoration must matched to the existing coatings and must be compatible with these.

The specialist contractor is to seek the technical advice of a quality paint manufacturer and is to provide a report from the manufacturer with recommendations of the appropriate paint type/s that are to be used.

The specialist contractor is to undertake sample of coating application to demonstrate the selection of the correct paint type. More than one paint type may be required to achieve the required colour scheme to all the internal wall and ceiling surfaces.

### **C2.3.3 REMOVAL OF LOOSE PAINT**

Remove all loose paint back to a sound surface.  
Repaint in colour scheme agreed with the Conservation Architect.  
Type of paint is to be compatible with all the paint types left on the prepared surfaces.

### **C2.3.4 REDECORATION OF PLASTER**

These surfaces are to be redecorated to an eggshell finish.

### **C2.3.5 REDECORATION OF TIMBER WINDOWS AND DOORS**

These surfaces are to be redecorated in shellac to match the original sheen.

## **C2.4 WINDOW AND DOOR REPAIRS**

### **C2.4.1 TRADITIONAL TIMBER REPAIRS**

See repairs itemized in the individual schedules of works included in Part A and Part B.  
Inspect close range for necessary repairs and undertake.  
The repairs are to be undertaken by a specialist joinery contractor with experience in the conservation, repair and operation of traditional timber windows and doors.

### **C2.4.2 PERIMETER MORTAR PACKING**

Reform mortar packing between the timberwork and adjacent render in a lime-based mortar 1:2:9, cement: lime putty: sand, packed deeply to completely fill the gap. Control the drying out of this mortar to prevent failure or cracking.

## **C2.5 IRON RAILINGS**

### **C2.5.1 CLEANING/PAINT REMOVAL**

To be abrasive cleaned to remove all rust and defective paint.  
Specialist contractor to test for lead based paint and undertake the cleaning in accordance with the relevant Codes of Practice. See C2.3.1 Lead Based Paints.  
Works are to include the setup of all necessary protection and to contain all abrasive during the cleaning and clean up processes. All necessary permits are to be in place.  
The specialist contractor is to provide a Methodology for the works for approval prior to commencement.

### **C2.5.2 REDECORATION**

Repaint in the following alkyd paint system:

1. Zinc rich primer
2. MIO undercoat
3. Undercoat colour matched to the top coat.
4. Top coat to approved colour.
5. TOTAL DFT: 250 microns

Paint coats are to be brush applied.

Paints used are to be from a single manufacturer and to be of high quality e.g. Dulux.

The painting contractor is to supply all necessary protection of the iron work to ensure painting is undertaken in the correct conditions. All necessary permits are to be in place.

The painting contractor is to provide a Methodology for the surface preparation and redecoration for approval, prior to ordering paint.

#### **C2.5.3 NEW IRON GATE**

Manufacture and install new wrought iron and cast iron gate to the space adjacent to Pier 1. Specialist metal contractor to provide shop drawings for prior approval. These are to show the gate at 1:20 and junctions at 1:5. Traditional detailing such as mortice and tenon joints are to be used. Junctions are not to be formed with welding. Gate to include hinges, and latch to traditional detail. Install gate and render fully functional. Paint as per the railings above.

#### **C2.5.4 STONE PLINTH**

Chemical strip all paint.  
Inspect bare stone surfaces and agree final scope of repairs with the Conservation Architect.  
Cut out all joints and repoint all sides.  
Undertake other minor repairs.

#### **C2.6 BIRD GUANO REMOVAL**

Prior to any works or investigations, the whole verandah is to be encapsulated in heavy duty plastic. All bird guano is to be removed by specialist contractors using pressure water and/or steam cleaning. All deposits and runoffs are to be collected and disposed of as Special Waste. Cleaning is to include all surfaces of the galvanized floor and the walls down to and including the metal roof beneath. A final clean of all surfaces is to be made after the removal of all redundant equipment as described above.